

Kurunegala

Development Plan
2021-2030



Urban Development Authority
Ministry of Urban Development & Housing

Kurunegala Development Plan



Urban Development Authority
Ministry of Urban Development and Housing
2021-2030

Kurunegala Development Plan 2021 - 2030

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Kurunegala Development Plan 2021 – 2030 mainly consists of three parts as Part I, II and III. The Part I consists of the background study, preliminary studies, the need of the plan, the planning framework, the SWOT analysis and the plan. The Part II consists of the Planning and Building Guidelines and Zoning Guidelines pertaining to the planning boundary for the period of 2021 – 2030. The part III consist of the zoning boundaries with the coordinates and all the annexures. Kurunegala Development Plan 2021 – 2030 has been prepared by the North western provincial Office

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Acknowledgment

The North Western Provincial office Kurunegala has taken the lead to provide the supervision for the preparation of the Kurunegala Development Plan 2021 – 2030. The objective of this plan is to prepare the plans required to transform the city of Kurunegala into a metropolis by honing the economic development potential of the area and making it a more populous attraction. The vision of the Kurunegala Development Plan 2021 – 2030 is in line with the ‘Vistas of Prosperity and splendour’ the government policy direction of the His Excellency the President Gotabaya Rajapaksa.

It is our proud privilege to Honourable Mahinda Rajapaksa subject Minister of Urban Development & Housing for approving the Kurunegala Development Plan 2021 – 2030 under the provision of Urban Development Authority Act No. 41 of 1978 as amended by the Act No. 04 of 1982. Further, it is our privilege to Dr. Nalaka Godahewa, State Minister of Urban Development, Coast Conservation, Waste Disposal and Community Cleanliness and Mr. Sirinimal Perera, Secretary to Ministry of Urban Development & Housing for their guidance and supports in this process.

Special gratitude offered on behalf of the planning team and the UDA, to the Chairman / Mayor, Kurunegala Municipal Council and Kurunegala Pradeshiya sabha, members of the PS and the staff. Secretary Kurunegala Divisional Secretariat and the staff for their generous support given for the successful completion of this development plan.

Appreciatively thankful to Chairman of UDA Archt. Harshan De Silva, Director General of UDA Plnr. N.P.K. Ranaweera, Additional Director General of UDA Plnr. H.A. Dayananda, Deputy Director General (Planning) of UDA Plnr. M.P.Ranatunga, Director E.M.S.B. Ekanayake North western provincial office of UDA Consultant (Legal) of UDA Attorney at Law C. Jayawardena, Director (Strategic Planning) of UDA Plnr. Priyani Nawarathne on behalf of the planning team for their incomparable courage, guidance and welcoming support.

In the end, Director – Environment & Landscape division L.Arct. C.K.E. Kalupahana and the staff of the division and Director - Geographical Information System & ITS Plnr. J.P.S. Somasekara and the staff of the division Director plnr. N.A.S.N Nissanka, Former Deputy Director plnr. K.M Senarathna and the staff of North Western Provincial office are gratefully appreciate on behalf of the planning team for their support to the successful completion of this task.

Honorable Minister's Foreword



The Urban Development Authority was established under the Urban Development Authority Act No. 41 of 1978, for the systematic planned urban development in the declared urban areas and continue to actively contribute towards it.

Steps have been taken to formulate comprehensive development plans for each urban development area, based on the efficient and effective use of physical space so that all areas of Sri Lanka make an equal contribution to the development process of the country.

The Kurunegala Town provide services to a large population. Accordingly, Kurunegala Pradeshiya sabha and Municipal Council Planning Areas has the potential to become a town that continues to provide residential and commercial services. This potential is further enhanced by the natural ecosystem of the surrounding area and the agricultural value. These development plans aim to develop the Kurunegala Town by utilizing the potential of the area.

For the realization of His Excellency the president's vision "Vistas of Prosperity" the new Re-urbanization Programme has been formulated in wide consultation with Professionals, Specialists, Stakeholders & communities with strategies having an excellent technological methodology and innovative approach.

Accordingly, I commend the Chairman of the Urban Development Authority, the Director General, the planning teams and all the officers of the Urban Development Authority who assisted in making this work a success. Further, I also appreciate and believe through the support and contribution of the relevant Local Government Institutions, Public and Private Sector Institutions and the general public, Kurunegala Development plan would be successfully implemented.

Hon. Mahinda Rajapaksa (M. P)
Minister of Urban Development & Housing

Honorable State Minister's Foreword



As a pioneer in Sri Lanka in achieving modern sustainable development goals, the Urban Development Authority has a great responsibility. Accordingly, it is essential to prepare development plans for the Urban Development Areas declared by the Hon. Minister in charge of the subject in terms of the Urban Development Authority Amendment Act No. 04 of 1982 (Part II, Section 8A (1)).

The development plans thus formulated are primarily aimed at building a productive citizen, a happy family, a dignified society and a prosperous nation, which are the core aspirations of the vistas of prosperity. I also believe that these development plans will go a long way in achieving the objectives of urban development and guidelines through a formal reurbanization plan that will bring economic stability to the urban population.

Therefore, I would like to express my heartfelt gratitude to the planning team and to all those who have played a very responsible role in preparing this plan and I hope that you will all contribute to the expectations of the vision of prosperity.

Dr. Nalaka Godahewa (M.P)
State Minister of Urban Development, Coast Conservation,
Waste Disposal and Community Cleanliness

Honorable Chairman's Foreword

Urban Development Authority



Throughout the last four decades, Urban Development Authority has been serving as the apex planning authority in Sri Lanka having the statutory powers to prepare and enforce urban development plans.

Urban Development Plans cover a number of fields including optimum, effective and efficient use of land and managing the quality of its environment. These development plans are prepared for the promotion and guidelines of public well-being in urban areas and the people.

According to the present government's manifesto, it is compulsory to prepare development plans for areas which have been declared as urban development areas by the subject minister as per section 8 A (1) under part II of Urban Development Authority Act No. 04 of 1982 (Amendment).

The Development Plan for Kurunegala Declared Area has been prepared for the period 2021 – 2030 considering the physical, economic, social and environmental factors, while successfully overcoming the challenges in preparing the development plan through tools and methodologies with which the Urban Development Authority is equipped.

Therefore, I extend my heart felt gratitude to the planning team who dedicatedly worked for ensuring successful completion of this plan and to those who contributed in numerous ways. At the same time I also expect that all parties who contributed for the preparation of this plan will also effectively contribute in future as well for successful implementation of the plan.

Archt. Harshan De Silva

Chairman

Urban Development Authority

Message of the Mayor of Kurunegala Municipal Council and the Chairman of Kurunegala Pradeshiya Sabha



We express our gratitude to the Urban Development Authority, for developing a development plan for the Kurunegala based on the vision of ‘developing a metro city of Kurunegala’, with considering as a common planning boundary both Kurunegala Municipal Council Area and Kurunegala Pradeshiya Sabha Area. This plan aims to formalize the urban development in the Kurunegala town area (the administrative capital of the Northwestern Province) which is currently ongoing as the irregular manner. We believe that, these two local authorities able to move towards an equal development, according to the shared vision of this proposed development plan.

We appreciate the realistic attempt of the Urban Development Authority to make the development plan for Kurunegala as a participatory planning approach, by considering criticism, suggestions and recommendations which are recommended by of us and the representatives of the general public. We are assuring our participation and support to implement this development plan for Kurunegala within the next decade. Similarly, we wish to participate all citizens and active working parties in private and institutional level to achieve the expectations of the Kurunegala Development Plan by the year 2030.

Thushara Sanjeewa Witharana
Honourable The Mayor
Kurunagala Municipal Council

Achala Nimantha Wikramathilaka
Honourable The Chairman
Kurunagala Pradeshiya Sabha

Preface

At present, there is a need for a formal development plan to address the challenges posed by development in Kurunegala and its suburbs. Accordingly, this plan has been formulated in such a way as to achieve a formal development of service based economic sector while preserving the existing green environment and taking into consideration the current economic, social and environmental conditions in the Kurunegala town.

Kurunegala Development Plan 2021-2030 consists of three sections as I, II and III and Part I consists of Chapters on Background Study, Preliminary Study, Need of the development plan, Planning framework, SWOT Analysis and the Plan. Part II of the development plan contains development zones and zoning guidelines for the time period of 2021-2030. Part III consists of the coordinates of zoning boundaries and all the annexures.

Part I - Chapter I of the Plan describes the meaning of the development plan, its legal context, and the stockholders of the plan, the scope and the planning process. Chapters 2 and 3 describe the planning area, the history of the area, planning boundary, and the need of development the plan. Chapter 4 contains the vision, goals and strategic plans, and Chapter 5 contains a detailed description of the SWOT analysis for each objective. Chapter 6 of the plan outlines the concept plan and the proposed land use development plan. The main strategies of the Kurunegala Development Plan come under this section as follows. Roads and transport development strategies, Sustainable environmental development strategies, Economic development strategies, Infrastructure development strategies and Implementation strategies.

Chapter 7 consist with design and building requirements, and Chapter 8 describes the identified zoning and zoning requirements. Chapter 9 includes the development guide plan for special commercial zone. Chapter 10 includes the proposed road width, building boundaries and reserves.

Accordingly, the objective of this Authority and the Government of Sri Lanka is to implement the Kurunegala Development Plan 2021-2030 in the near future.

**APPROVAL OF THE DEVELOPMENT PLAN FOR THE URBAN DEVELOPMENT AREA
OF KURUNEGALA MUNICIPAL COUNCIL AREA AND THE KURUNEGALA
PRADESHIYA SABHA AREA**

I, Mahinda Rajapaksa, Minister of Urban Development and Housing do hereby approve the development plan for the Kurunegala Municipal Council Area and the Kurunegala Pradeshiya Sabha Area, having considered the recommendation made by the Board of Management of the Urban Development Authority on 24th September, 2020 by virtue of the powers vested in me under section 8 “F” of the Urban Development Authority (Amendment) Act No.4 of 1982.



Mahinda Rajapaksa (M.P)

Minister of Urban Development and Housing

Ministry of Urban Development and Housing,
17th and 18th Floors,
“Suhurupaya”,
Sri Subhuthipura Road,
Battaramulla.

Date: 15 April, 2021.

Gazette Notification



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Government Notifications

APPROVAL OF THE DEVELOPMENT PLAN FOR THE URBAN DEVELOPMENT AREA OF KURUNEGALA MUNICIPAL COUNCIL AREA AND THE KURUNEGALA PRADESHIYA SABHA AREA

I, Mahinda Rajapaksa, Minister of Urban Development and Housing do hereby approve the development plan for the Kurunegala Municipal Council Area and the Kurunegala Pradeshiya Sabha Area, having considered the recommendation made by the Board of Management of the Urban Development Authority on 24th September, 2020 by virtue of the powers vested in me under Section 8 "F" of the Urban Development Authority (Amendment) Act, No. 04 of 1982.

MAHINDA RAJAPAKSA (M.P.),
Minister of Urban Development and Housing.

Ministry of Urban Development and Housing,
17th and 18th Floors,
Suhurupaya,
Subhuthipura Road,
Battaramulla.

15th April, 2021.

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**NOTICE OF APPROVAL OF THE DEVELOPMENT PLAN FOR THE URBAN DEVELOPMENT
AREA OF THE URBAN COUNCIL OF KURUNEGALA AND
THE PRADESHIYA SABHA LIMIT OF KURUNEGALA**

NOTICE is hereby given to the General Public of the Democratic Socialist Republic of Sri Lanka under Section 8 (G) of the Urban Development Authority Law No. 41 of 1978 as amended by the Act, No. 04 of 1982 that I, Mahinda Rajapaksa, the Minister in charge of the subject of Urban Development & Housing by virtue of the powers vested in me under Section 8 (F) of the said Act, have approved the Development Plan for the Urban Development Area of the Urban Council of Kurunegala and the Pradeshiya Sabha limit of Kurunegala, prepared under Section 8 (A) of the said Act, on the 15th day of April, 2021.

MAHINDA RAJAPAKSA (M.P.),
Minister of Urban Development and Housing.

Ministry of Urban Development and Housing,
17th and 18th Floors,
Suhurupaya,
Subhuthipura Road,
Battaramulla.

12th July, 2021.

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**APPROVAL OF THE DEVELOPMENT PLAN FOR THE URBAN DEVELOPMENT AREA OF
THE URBAN COUNCIL OF KURUNEGALA AND
THE PRADESHIYA SABHA LIMIT OF KURUNEGALA**

PUBLIC are hereby informed that the Development Plan prepared for the Urban Development area of the Urban Council of Kurunegala and the Pradeshiya Sabha limit of Kurunegala under Section 8 (A) of the Urban Development Authority Law, No. 41 of 1978 as amended by the Act. No. 4 of 1982, has been approved on 15th April, 2021, by Hon. Mahinda Rajapaksa, Minister of Urban Development & Housing by virtue of powers vested on him under Section 8 (F) of the said Act.

Archt. HARSHAN DE SILVA,
Chairman,
Urban Development Authority.

12th July, 2021.

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Part

1



Background of the Development Plan

Chapter 01

Background Of The Development Plan

1.1. Introduction

Kurunegala Municipal Council Area has been declared under the Urban Development Authority Law on 01st of June 1979 by the Gazette notification bearing no. 38/16. The Development Plan 2006 - 2015 Gazetted on 19.09.2006 by the Gazette bearing no. 1467/33 is expired to the date.

The area covering 96km² and consist of 54 Gramaniladhari Divisions of the Pradeshiya Sabha that encompasses Kurunegala Municipal Council Area has been declared under Urban Development Authority Law by Gazette notification bearing no. 1926/20 on 04.08.2015. With the development of Central Express Way the entire Pradeshiya Sabha Area of Kurunegala has been declared under the said Law by Gazette notification bearing no. 2068/47 on 28.04.2018.

There is a power to prepare a Development Plan for those areas declared under Urban Development Authority Law according to section 8 of Part 2 of the Urban Development Authority Law amendment Act No.4 of 1982 which depicts the planning procedure read with section 3 of Urban Development Authority Law No. 41 of 1978 passed by the National State Assembly.

With the rapid urbanization process in Sri Lanka through state policies and economic actions the whole Pradeshiya Sabha Area encompassing Kurunegala Municipal Council Area is subject to urbanization following settlement. At the same time the entire area declared as an Urban Development Area where it covers Kurunegala Municipal Council Area (10.53m²) and the Pradeshiya Sabha Area (245m²) has been selected as a planning area in the process of preparation of Development Plan for the reason that spread effect from the express way that acrosses Kurunegala Town as a development project to the development of Kurunegala Town as a transport center is evident. Steps are taken to introduce detail plan for the strategic areas while common plans and building guidelines are introduced for other areas.

1.2. Stakeholders of the plan

In the preparation of this Development Plan the guidance ideas and proposals were obtained from the following agencies.

Main Partners

- Kurunegala Municipal Council
- Kurunegala Pradeshiya Sabha

Consultancy Agencies

- Divisional Secretariat - Kurunegala
- Divisional Secretariat - Maspotha
- Divisional Secretariat - Mallawapitiya
- Survey Department - Kurunegala
- Zonal Education Department - Kurunegala
- Police Department - Kurunegala
- Commissioner of Local Government, Local Government Department - Kurunegala
- Wayamba Provincial Development Authority - Kurunegala
- Archeological Department - Hettipola
- National Water Supply and Drainage Board - Kurunegala
- Forest Conservation Department - Kurunegala
- Coconut Development Board - Kurunegala
- Central Environmental Authority - Kurunegala
- North Western Provincial Environmental Authority - Kurunegala
- Railway Department - Kurunegala
- Agriculture Department - Kurunegala
- National Transport Board - Kurunegala
- Passenger Transport Authority - Kurunegala
- Ceylon Electricity Board - Kuliyaipitiya
- Sri Lanka Telecom - Kurunegala
- School Van Owners Association - Kurunegala
- Traders Association - Kurunegala

1.3 The Scope of the Development Plan

Under this context the status given to Kurunegala Town according to the present government manifesto (Vistas of Prosperity and Splendour) and National Physical Planning Policy 2050, the Linkage of the Town in the National and Regional context, the Development Projects now being under implementation and proposed within the Area, the contribution so far made by the Plans to the Town and applicable Special Enactments are emphasized hereunder.

A Development Plan is a document that describes the strategies containing guidance for sustainable development and proper planning of an area with objectives. The Urban Development Authority is vested with the powers to guide to achieve objectives physically for such an area and to prepare an integrated plan for the purpose of Economic, Social Environmental and Physical Development of an area declared under Urban Development Authority Law and to do Physical Development and implement and promote the same. Thus priority has been given to achieve Physical Development in the process of preparing Development Plan for Kurunegala Town.

As identified in the Present government manifesto (Figure 1.1), the city of Kurunegala has been given high importance to develop as a national city. Five of the ten policies of that prosperity manifesto (a productive citizen, a prosperous human resource, a people-centered economy, a technology-based society, physical resource development, sustainable environmental management) are directly related to development plans. In formulating this development plan, the vision, objectives, objectives and strategies of the development plan are formulated within the same policies.

Nationally a high priority would be given by about 2050 to Kurunegala Town as it is identified as a main Economic Center at Colombo - Trincomalee economic corridor which connects Colombo Trincomalee through the new Physical Planning Policy prepared by National Physical Planning Department (Map No.1.1) This Plan has been prepared by taking into account the aforesaid opportunity to archive the vision of "the Emerging" Wayamba Metropolis encircling Athugala. For the purpose of developing bright economic center a high priority has been given to economic development strategies related to economic growth levels of the Town and for the above purpose the economic development strategies such as expansion of the Urban Area, the center for distribution of goods, introduction of information technology village and expansion of industrial Town etc. have been introduced.

Kurunegala Town claims a direct road and transport relationship with the main Towns of the country such as Colombo, Kandy, Polonnaruwa, Anuradhapura, Putlam, Chilaw, Kegalle, Negambo, Matale and Trincomalee etc. for the one reason that it is centrally located at a place where five roads connecting North - South are converged and the other reason being the running of North-Easter Railway crossing over the Town (Figure 1.1 and table no 1.1)

at the same time Kurunegala Town would be further effective when the projects such as running of Central Express Way which is already under implementation acrossing Kurunegala and the proposed Kurunegala - Dambulla Railway projects are implemented. Thus having integrated all this transport means in order of forming a Transit Oriented Development Center based on transport and economic strategy is introduce and also and integrated transport in such

a way to minimized traffic time by introducing and alternative road connection of main roads for diverting traffic unnecessary to the Town center has been introduced by this plan.

Kurunegala area has been identified as most suitable area for residential development by the Physical Planning Policy 2050 the residential population within greater Kurunegala area by about 2030 has been estimated to be One Million. This plan has presented in order to achieve the said objective residential zones and related projects for the supply of physical and social infrastructure facilities to cater 250,000 residential population within the Planning Area.

The Urban Development Authority had prepared a Town Development Plan 2006 - 2015 for Kurunegala Municipal Council Area with the objective of developed a main administrative and commercial center. However that Plan failed to meet the demand for Commercial Activities within the Town and caused to reduce investor attraction because of the Zoning Plan, Floor Area Ratio Plan, Plot Size Plan etc. (Plan No.1.3) In consequence changed mindset of Investors to other Towns and linear development on major roads were visible. However the Pradeshiya Sabha Area morefully described as the virtual Urban Area subjected to rapid haphazard development due to the influence of Kurunegala Municipal Council Area where it was the only area then declared under Urban Development Authority Law has not been taken into account.

The daily commuter population for the Town being the main administrative and commercial center in North-Western Province is around 300,000. This Plan in making more investor attraction introduces the expansion of the Town by using the alternative road that connects four main roads externally in order to cater demand for the Town.

However to control the development that takes place at present by overlooking Athugala identity a Plan for the areas from where Athugala could be clearly visible is introduced by limiting the height in such a way to make Athugala visible by its height of 1/3.

For the purpose of implementing the aforesaid strategies, projects that have to be implemented in short-term midterm and long-term have been introduced.

Table 1.1- The road system that across the Kurunegala town

Route No.	Road Name	Distance (K.M)
AA 006 + AA 001	Kurunegala – Colombo	93
AA010	Kurunegala – Puttalam	87
AA010	Kurunegala - Kandy (via Katugasthota)	36
AA010+AA028	Kurunegala – Anuradhapura	121
AA 006+A019	Kurunegala – Kegalle	32
AA 006	Kurunegala – Trincomalee	164
B247+ B322	Kurunegala – Negombo	71

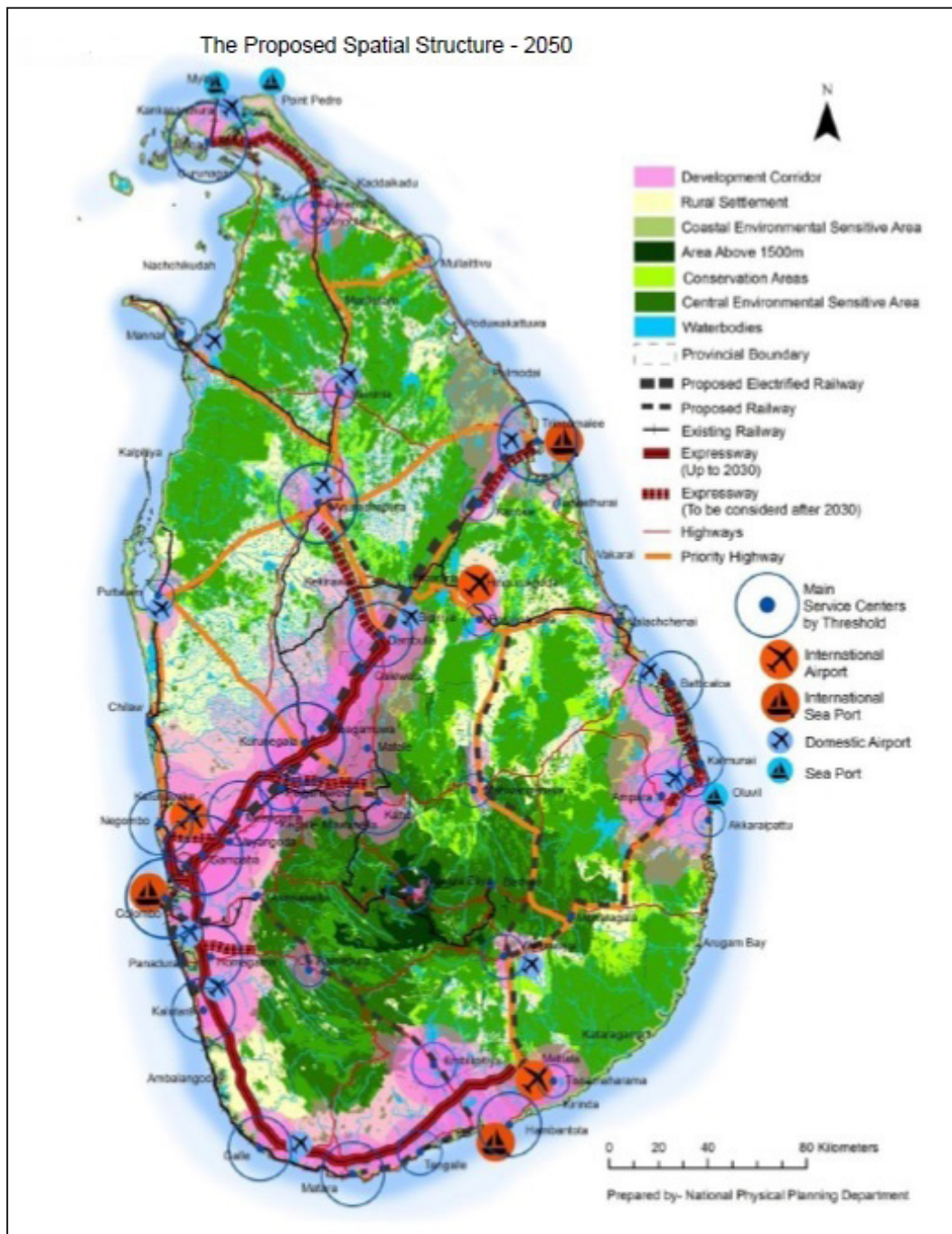
Source : North Western Provincial Office, Urban Developmet Authority , 2019

Figure 1.1 – Town structure of present government manifesto



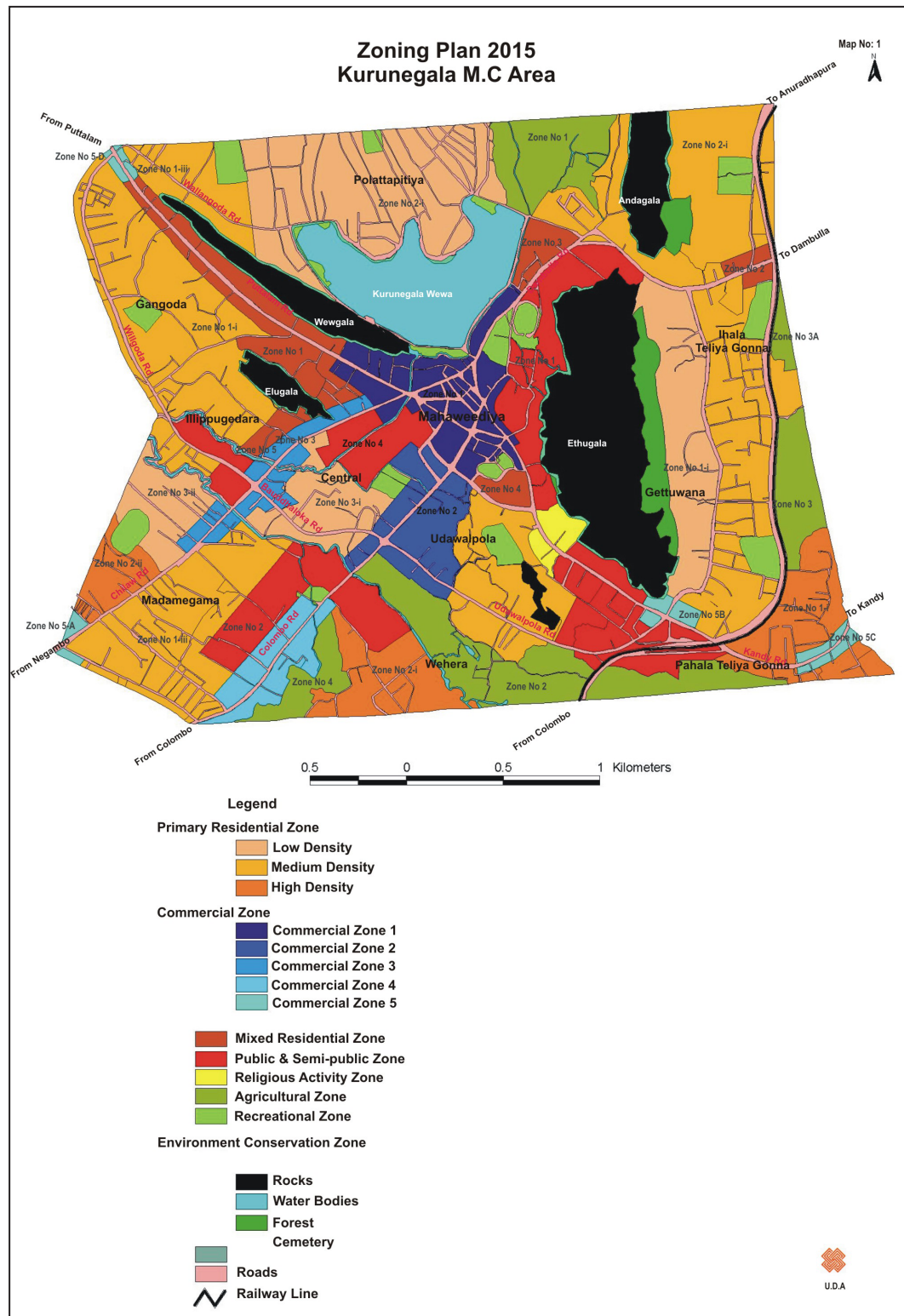
Source : "Vistas of Prosperity and Splendour" government manifesto, 2020

Map No 1.1 - National Physical Plan, 2050



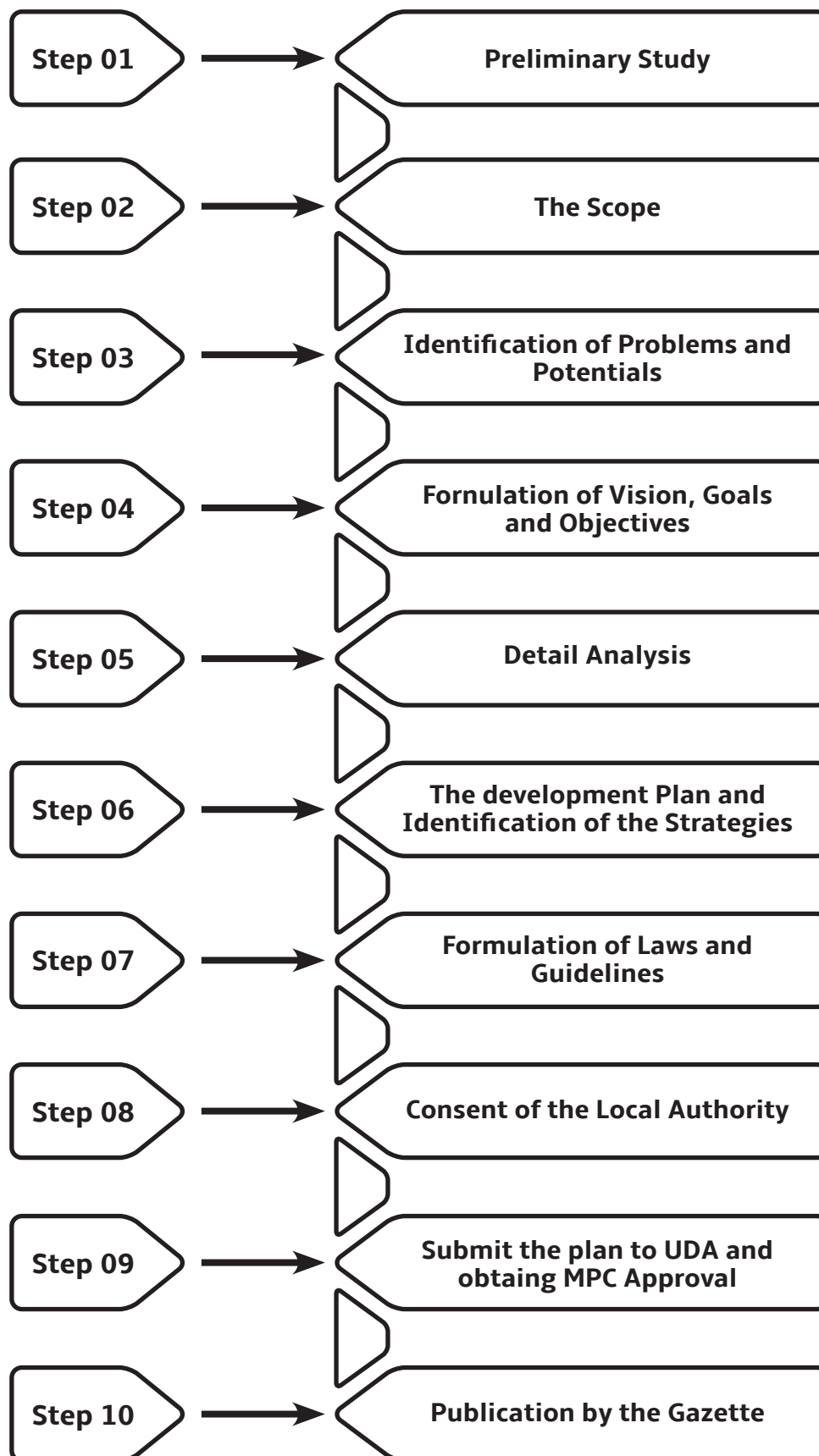
Source : National physical planning department 2017

Map No. 1.2 - Zoning Plan - Municipal Council area Kurunegala 2015



Source : Urban Development Authority , North Western provincial Office 2006 -2015

1.4 Planning Process



This Development Plan was prepared under following steps.

Preliminary Study

In the process of preparing the Development Plan for Kurunegala Municipal Area and Kurunegala Pradeshiya Sabha Area primary and secondary data were analyzed basically under Physical Economic and Social aspects. The Urban Area land use distribution, infrastructure facilities, population, housing distribution and environmental situation through maps were done by obtaining data from National Physical Planning Department, Road Development Authority, Central Environmental Authority, Divisional Secretariat and also from the agencies related to infrastructure facilities such as Health, Education, Water Supply, Ceylon Electricity Board etc.

Identification of the Scope

Under this context the future vision for Kurunegala Town as per the present government manifesto (Vistas of Prosperity and Splendour) and National Physical Planning Policy 2050, National and Regional linkages of the Town and proposed and ongoing projects in the area adjacent to the Town were studied in detail

Identification of Questions and Development Potentials

The existing problematic situation and development potentials of the Town have been identified by analyzing and considering the ideas given to see the possibility for the improvement of the Town by resource persons, stake holders, public and private sector, societies and partners of each sector on the basis of the contribution made by the respective intuitions to improve the development potentials of the Town and of existing problems and the way of avoiding them. For the above purpose the first meeting on 27.06.2017 at Kurunegala Municipal Council auditorium was held in order to receive ideas from the public representatives. The second meeting headed by Chief Minister of the North Western Province with the participation of Heads of state agencies were held on 01.11.2017 at Litchchavi Hall of Chief Ministry. At the same time on 18.08.2017 and on 19.08.2018 the opinion as to the problems of the Town and basic memories of the Town made by the commuters and the residents through a questionnaire and cognitive survey have been received.

Identification of Vision Objectives and Goals

Under this context the necessary vision and targets have been made to pursued the Town for the progress through balance development of environmental, economic, social and physical sector by tapping development potentials and avoiding problems in the region.

The Detail Analysis

Having prepared the objectives for the purpose of achieving the vision available strengths, weaknesses, potentials and threats were analyzed in order to full fill such objectives. Under these circumstances works such as activity survey of the Central Business District (CBD), parking area survey etc. were carried out so as to analyze the aforesaid facts.

Development Plan and the Preparation of the Strategies.

Under this context in order of achieving the objectives, proposed land use plan, physical and social infrastructure facilities development strategy, economic Development Plan and strategic plans containing sustainable environmental strategies were prepared in the form of physical environmental economic social perspective.

Formulation of Laws and Guidelines

And action was taken to form a legal framework by way of laws and guidelines to minimize the problems expected to be arisen in the future and for the problems identified to the date by the Development Plan that would hamper the achievement of the vision of the Development Plan and to implement the land use plan and the components of the Development Plan through building guidelines.

Consent of Local Authority

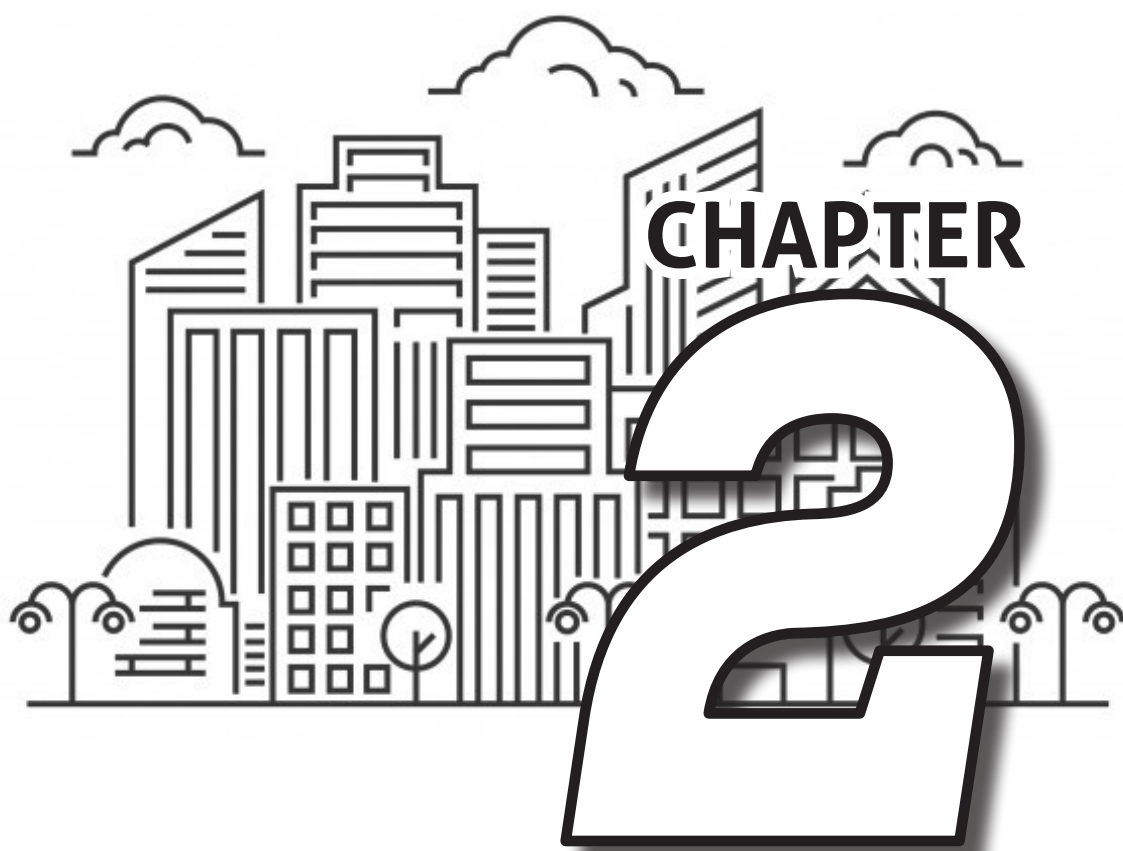
The Development Plan for the purpose receiving consent for the resource persons, stake holders and public representatives was referred to Kurunegala Municipal Council and to Kurunegala Pradeshiya Sabha on 28.11.2018 and on 22.01.2019 respectively and was consented.

Submission of the Documented Plan to the Planning Committee of the Urban Development Authority and Obtaining of Approval

Submission of the plan for the purpose of getting consultation and proposals for further corrections of the documented Development Plan and approval and final approval from the Minister.

Declaration by Gazette Notification

Making of the draft amendment plan in to a lawful plan.



Preliminary Study

Chapter 02

Preliminary Study

2.1. The Preliminary Information of the Planning Study Area

2.1.1 Introduction

Kurunegala Town as a Junction Town that connects with main Towns in Sri Lanka, being located an strategic point has been proposed to develop an Economic Center to be located at West-East Economic corridor as per the National Physical Planning Policy - 2030.

In the process of preparation of this Development Plan out of 30 Divisional Secretary's Divisions of Kurunegala District in the North-Western Province 03 Divisional Secretary's Divisions namely Kurunegala, Mallawapitiya, Maspotha were study as authority area of study. (Map No.2.1)

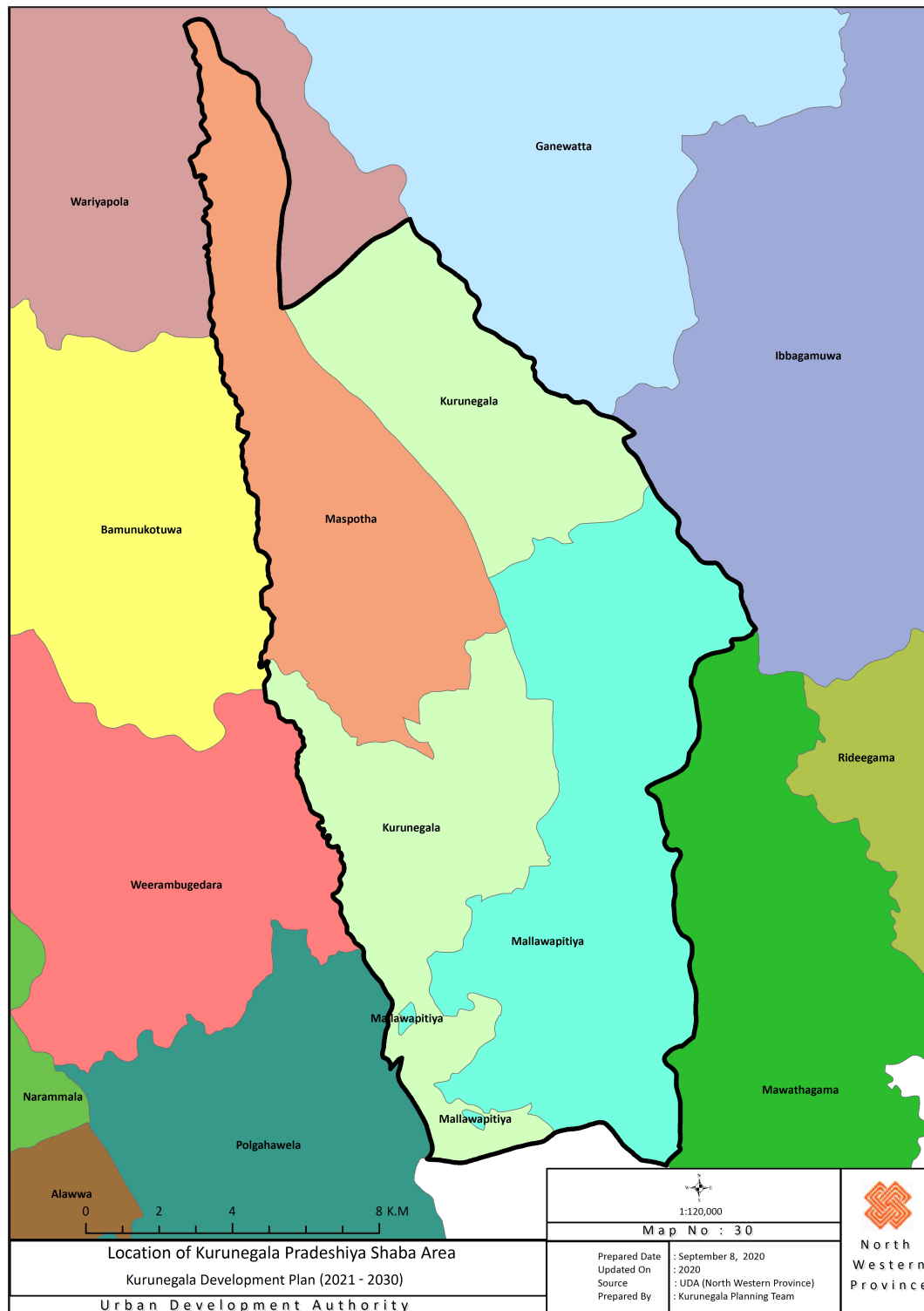
Table No.2.1 - Divisional Secretariat Divisions within Urban Authority Area

Name of the Divisional Secretary Area	Extent k.m2	No of Gramaniladhari Divisions
Kurunegala	95.21	54
Mallawapitiya	84.34	45
Maspotha	65.53	33
Total	245.08	132

Source : Urban Development Authority , North Western Provincial office 2018

The area consists of 10.53 km² and 12 Gramaniladhari Divisions of Kurunegala Pradeshiya Sabha belongs to Kurunegala Municipal Council Area which is one of a Smallest Municipal Council in Sri Lanka and Kurunegala Pradeshiya Sabha consists of remaining 42 Gramaniladhari Divisions not coming under Kurunegala Municipal Council Area and 78 Gramaniladhari Divisions belonging to Maspotha and Mallawapitiya Divisional Secretariat Divisions.

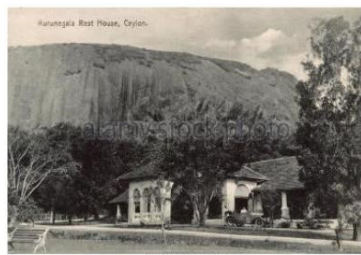
Map No.2.1 The Pradeshiya Sabha Authority area of Kurunegala



Source : Urban development Authority: NWP 2019

While Kurunegala Town been Fifth Kingdom of Sri Lanka King Buwaneka Bahu the IIInd in 1293 A.D formed the Kingdom of Kurunegala and ruled it for 48 years, the period of King Parakrama Bahu the IIIrd was renowned as the Golden Area of the Sinhalese literature where literary works such as Dalanda Siritha, Umandawa, Jataka Story Book, Sandakinduruwatha were written. Kurunegala Town had been used in 16th and 17th Centuries by the Portuguese as a collecting center for Cinnamon and Pepper while Englishmen in 17th and 18thCenturies used it as a main Administrative Center for Sathkorale.

Fig 2.1 Ancient Places of Kurunegala Town



Rajaphihilla Rest House



Bishop House



Opening of Railway Station

Source : Kurunegala Development Plan (2006 -2015)

Later Kurunegala Town in terms of administration has been evolved from a Local Board (1800)to the status of a Municipal Council (1952).

In the ancient time it was stated in the book called Kurunegala Purawurtha that Kurunegala Town was a Planned Town. Though the Town is located at the same place where old Town was located, the large Lake built in the period of Kingdoms was turned in to a residue and it was converted in to urban activities to the date. The Town it was observed is built at a low land seemingly a pond covered by the range of hills.

Climatically Kurunegala Town belongs to Inter Center Zone while it falls low country zone that claims an elevation of below 300m. While quite warm climatic situation is experiencing owing to fact that it is so close to the Eastern Longitude 800 and the average temperature of this area though seems 27c0it increases up to 300Cbecause the Town is covered by range of rock outcrops and the resistance does make by Athugala to enter North-East monsoon blowing from November to March. The average rain fall of this area rangers for 1750mm to 2500mm

2.2. Planning Context and Situation Analysis

2.2.1 Population Information

The total population within study area in 2017 was 180,339 of which Kurunegala Town limit and Kurunegala Pradeshiya Sabha Area claimed 26,205 and 154,194 respectively. 85% of the total population is Sinhalese whilst 48% belongs to Males. It is clear that there is an intra migration in to this area as the population growth rate of this area over Sri Lanka and Kurunegala District was high (Sri Lanka 0.76, Kurunegala district 0.97, Planning Zone 0.98). At the same time high population growth rate is evident in the Gramanildhari Divisions adjacent to the Municipal Limits Such as Thorayaya, Hettigedara, Thiththawalla etc. over the Gramanildhari Division within Municipal Limits.

In the study of population density of the study area a high population density is seen in Kurunegala Municipal Council Area while such areas adjacent to the Town where facilities of the Town could be reached quickly as Malkaduwwa, North Malkaduwwa, South Malkaduwwa and South Wilgoda depict a high population density. (Annex Map No.2.2)

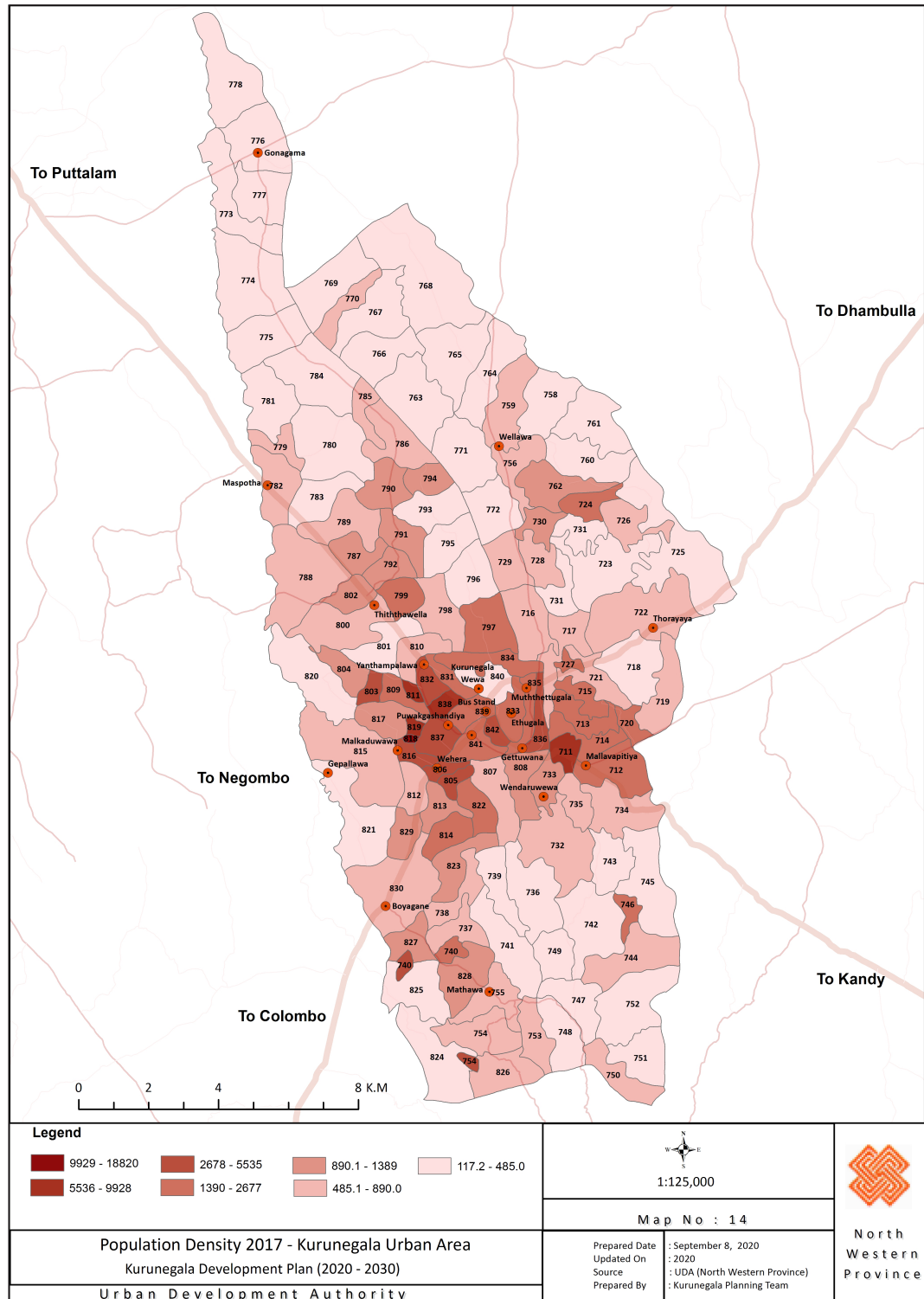
78% of the total population in the study area belongs to the labour force and out of which 77% is employed while as many as 55% of them involved in the public and private sector employments. Moreover 45% of the total population of the study area claims an educational level of GCE(A/L) or above showing that there is possibility of using skill labour.

Table No. 2.2 Sector wise employment 2011 - 2016

	2011		2016	
Government Sector	12984	16.7%	17151	19%
Private Sector	20205	16%	30536	35%
Industrial Sector	10132	13%	10185	11%
Agricultural Sector	12790	16.4%	11135	12.5%
Foreign Employment	4095	5.27%	4587	5%
Labor	17695	22.7%	15196	17%
Total	77,790	100%	88790	100%

Source ; Divisional Secretariat Offices – Kurunegala, Maspotha, Mallawapitiya 2016

Map No. 2.2 - Population Density in Planning Boundary - 2017



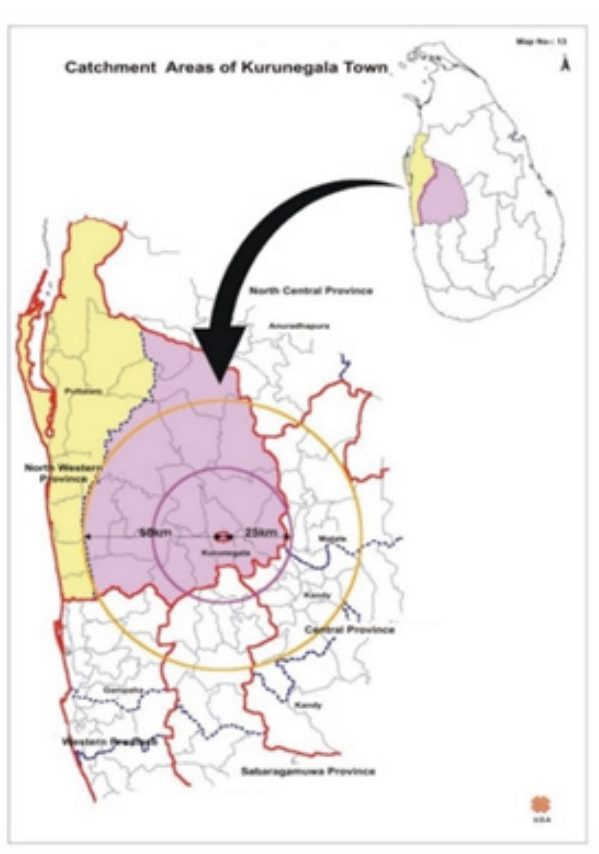
Source : Urban Development Authority : NWP 2017

2.2.2 Economic Level

The North-Western Province gains 3rd place in terms of the study of provincial contribution to Gross Domestic Product of Sri Lanka (10.7% of the total product) of which as high as 5.6% contributes for service sector and it could be concluded that there is higher contribution from Kurunegala for the above, for the reason that Kurunegala Town is the Administrative and Commercial Town of the Province and the District as well. The daily floating population to Kurunegala Town being Administrative and Commercial center of the province is nearly 300,000 and considerable share of population from 25km radius of adjacent catchment area for service needs such as employment, school, education and commercial services etc. is commuting daily where as population from 50km radius of the catchment area, it is observed is commuting for health (Hospitals and Medical Consultation services), foreign employment, tuition classes and administrative service needs. (Figure 2.2)

Out of the 5/6 school population of the Town comes from the outside of the Town and about a population of 100,000 comes on weekends to the Town for tuition classes. At the same time people from almost every part of Sri Lanka such as Colombo, Galle and Jaffna etc. come to Kurunegala Town for foreign employment needs as location of 7 out of 10 excellent foreign employment agencies (Greenway, Asliya, Al Akeem etc.) selected by the Foreign Employment Bureau in 2016 is within the Town and the reputation entertained by those agencies (Table No.2.3). Moreover it is observed that because the Town being the Administrative Center of the Province a number of nearly 30,000 population comes to the Town for employment daily.

Figure 2.2 - Catchment area of Kurunegala



Source; Urban Development Authority – North Western Office - 2020

Table No.2.3 - Amount of commuting population for services**The amount of student arrivals for tuition classes at week days 2017**

Type of Classes	No. of Classes	No. of Students
Tuition classes for the School Children's	30	20,600
Languages	11	1,500
Diploma	03	890
Dancing	04	600
Computer	06	850
Information Technology	08	280
External graduate	04	1,700
Total		24,720

Source ; Human Resources Management Authority north Western Province 2017

The number of consumers for foreign agencies – 2016

- Number of foreign employment agencies - 178
- The number of visitors arriving per day – for services - 4,000
- Number of annual foreign employment opportunities (1,500 per month) - 16,315

Source ; Foreign Employment Bureau – Kurunegala - 2016

2.2.3 Land Use Pattern

Table No.2.4 The changes in the land use pattern - 1985/2017

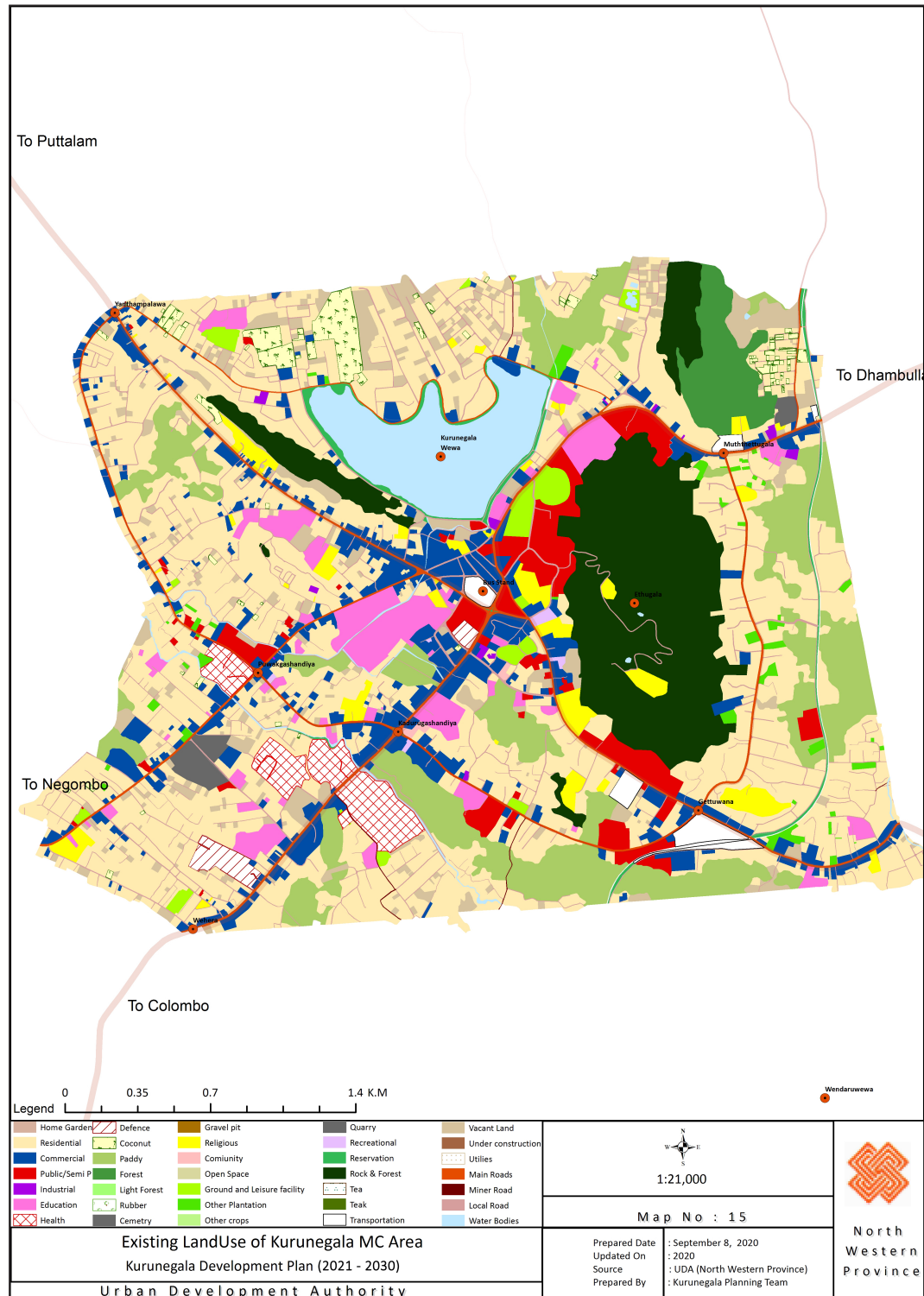
Use	Land Use Percentage			
	1985 %	1997%	2002%	2017%
Residential	29.80	34.13	36.57	38.5
Commercial	1.46	4.65	4.97	7.3
Industrial	0.78	1.00	1.18	0.15
Recreational	0.71	0.89	0.98	1.04
Road and Transport	4.23	6.94	7.64	8.69
Public and Semi Public	5.96	10.53	10.78	11.78
Religious	1.67	1.70	1.95	2.0
Paddy Cultivation	15.77	13.94	13.19	11
Coconut Cultivation	18.51	6.17	4.35	1.49
Vacant Land	1.93	0.76	1.73	2.5
Cemetery	0.60	0.69	0.69	0.55
Rock and Forest	13.50	13.20	10.9	10.14
Water Body	5.00	5.00	5.01	4.3
Total	100.00	100.00	100.00	100.00

Source : Draft Town Development Plan 1985-1997, Kurunegala Town Development Plan 2006-2015 Field Surveyor Urban Development Authority 2017

According to above table the Central Business District (CBD) has high commercial development in consequence to the development of Kurunegala Town as a junction Town by converging the road network whilst a leaner commercial development along major road is seen. However it is observed even within the CBD between roads there is no tendency of commercial development owing to the fact that narrowness of roads in the interior area and non-connectivity of road ends etc.(Annex Map No. 2.3,2.4 and 2.5)

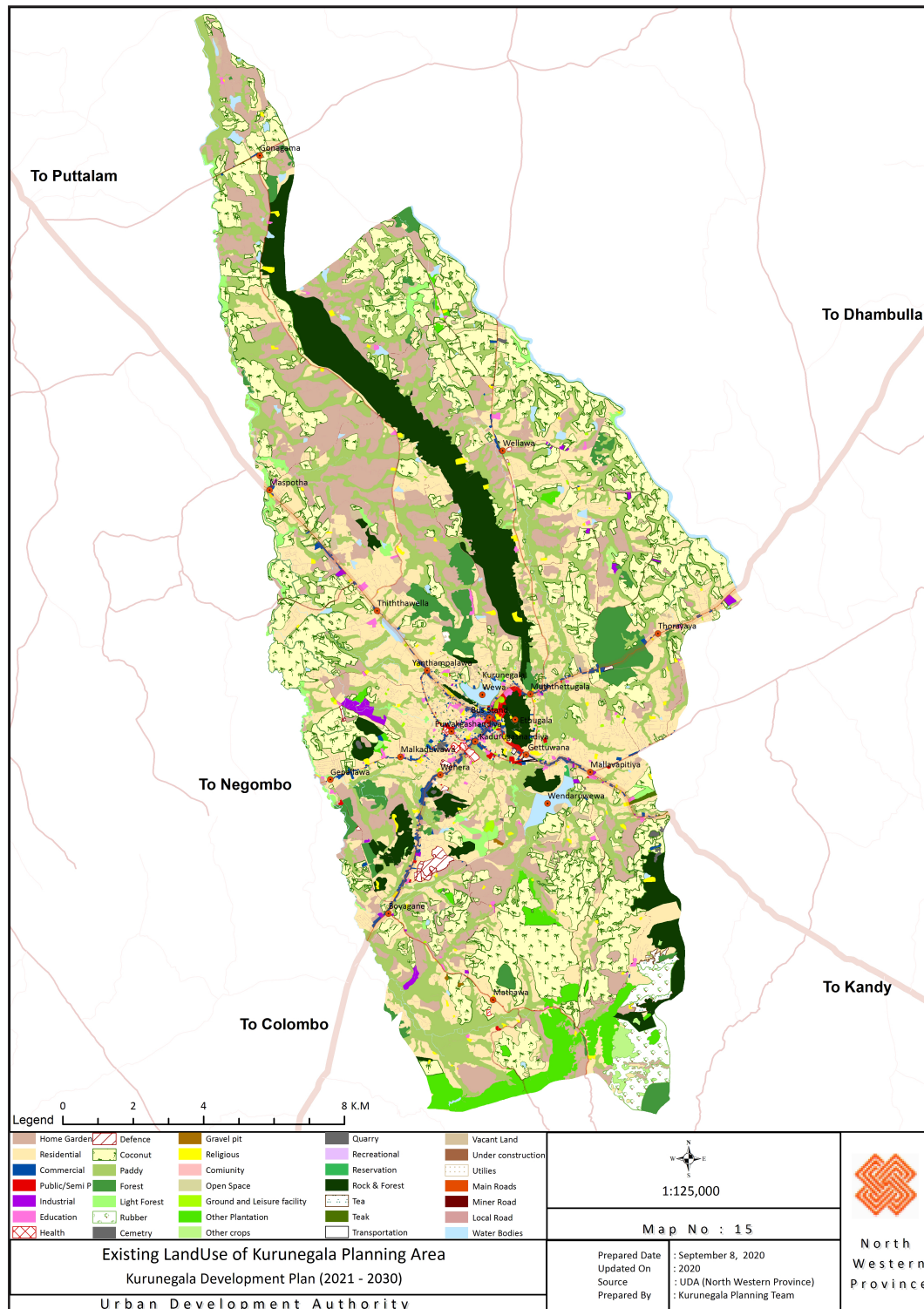
In terms of the study of residential development though there is a residential development within Town limit and the adjacent area on small lots ranging for 6 to 15 perches the same residential development could be seen in the interior of the Pradeshiya Sabha on home gardens in extent of 2 to 3 acres. In the process of studding the land use changes 2001 to 2017 in Kurunegala Town limit it was observed that there was a considerably increase in the commercial use while a few are seen in residential development. It was also observed that as high as 10% of the land was set apart for education and government department etc.

Map No. 2.3 - Land use pattern - 2017 (Kurunegala MC Area)



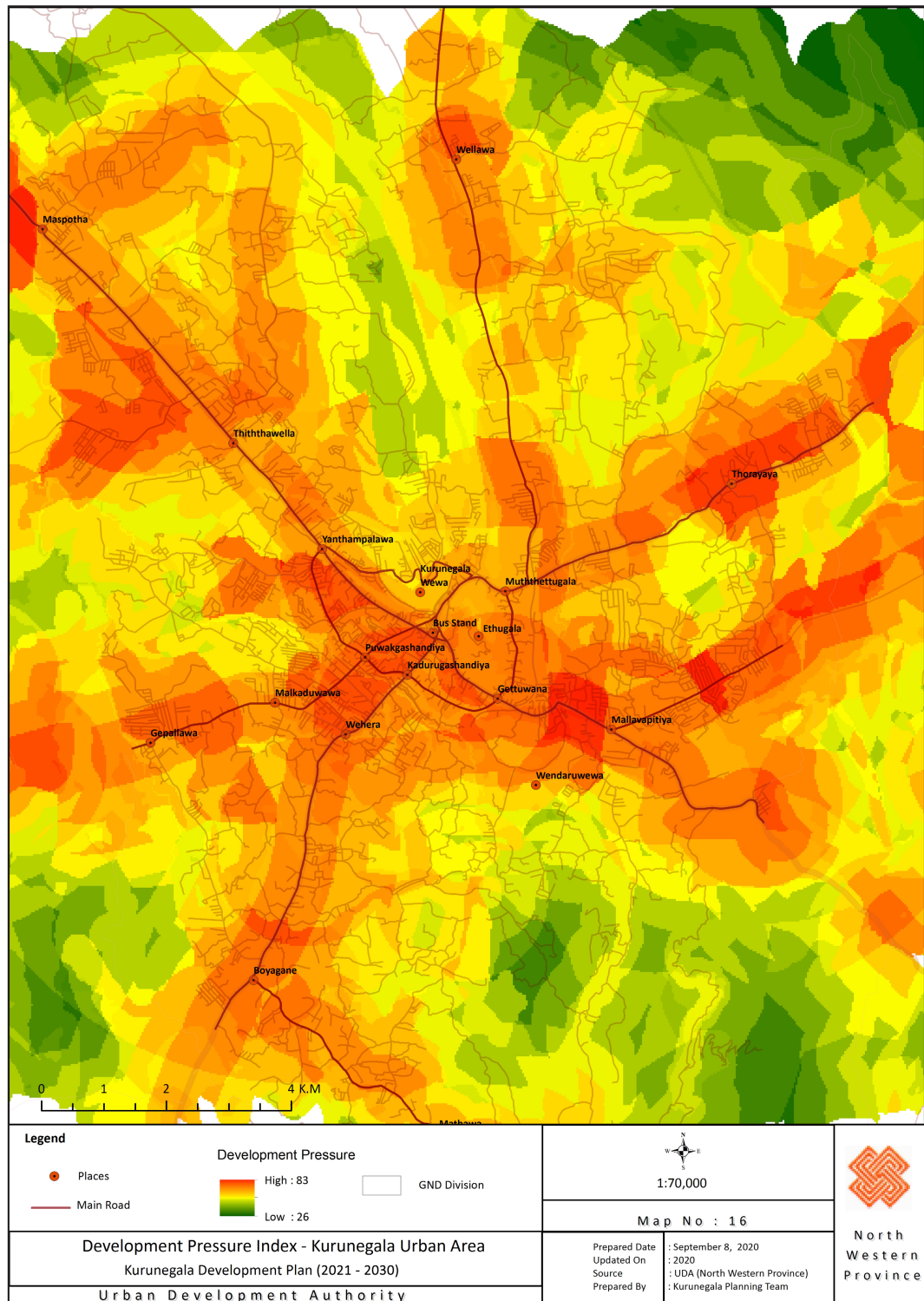
Source; Urban Development Authority – North Western Province Office 2018

Map No. 2.4 - Land use pattern - Planning Boundary Kurunegala



Source; Urban Development Authority – North Western Province Office 2018

Map No. 2.5 - Development Pleasure Analysis - Kurunegala



Source; Urban Development Authority – North Western Office 2017

In the study of land use plan related to area of planning authority though 18% and 21.6% of land set apart for paddy and coconut cultivations respectively 16.6% of the paddy land are abandoned due to non-availability of water facilities. There is a problem of converting coconut lands all though it is 21.6% of the total lands, in to residential development due to its under productivity. Accordingly all though there is higher share of agriculture land use the contribution made to the economy by them is not up to a considerable level (Map No.2.5)

The data explain that there are 3,694 industries and 11,618 employees ranging from large scale industries to cottage industries within the Pradeshiya Sabha Area whereas in Kurunegala Town area there is a tendency of decreasing in the Industrial land use. Moreover there is a potentiality of expansion of Industrial sector within Pradeshiya Sabha Area because of the facts that there are Industrial Parks such as Heraliyawala and Dangaspitiya manage by the Provincial Council, the location of coir based Industries within those parks and further demand being made by the Industrialists.

Though there is a fairly a higher percentage of land use amounting nearly to a 10% of the total set apart for roads within Kurunegala Town since there is convergence of five main roads and the location of Railway Station, this situation in comparison to total area (Planning Area) of the land use as few as 2% of the land is reserved for the same purpose. At the same time in studying road expansion, connection of main roads directly to narrow residential roads, ending of roads with dead ends, non-availability of bypasses etc. could be identified (Maps No. 2.6)

A considerable amount of vehicles in to the Town is in floor daily by reason of convergence of the five major roads in the Town, since there is a non-availability of alternative roads, large number of vehicles not meant to be coming to the Town are observed. Nevertheless it takes 35 minutes to pass 2km distance from CBD during the peak hours (opening and closing time of schools and offices) owing to parking on both sides of the road since inadequacy of parking spaces and location of essential uses such as schools and offices that tend to cause traffic congestion.

In addition there is a possibility of creating information technology related employment as there are telephone lines and fiber optic cables running in close proximity to the Town.

2.2.4 Water Supply

Daduru Oya is being used as a source for Pipe borne water supply to the Town but the residents face difficulty in getting water for 24 hours during the season of low rain. At present the daily water need is 7,000m³ and by the greater Kurunegala water supply and sanitary project which is now under implementation and by which the daily water supply is expected to be increased up to 14,000m³ by constructing a reservoir (Raskuru reservoir) at Barandana Ranthathati Uyana Watta to collect water from Daduru Oya. Accordingly 106,000 beneficiaries are expected to be provided with Pipe borne water covering the Town area and its immediate boarder consisting of 11 Gramaniladhari Divisions of the Pradeshiya Sabha. (Table No.2.5)

Table No. 2.5 - Capacity of water supply project

Project Duration	2014-2017
Beneficiaries homes / institutions	6500
Beneficiaries population	106000
GN Divisions (total)	17
GN Divisions (Part)	27
Daily capacity	14000m ³

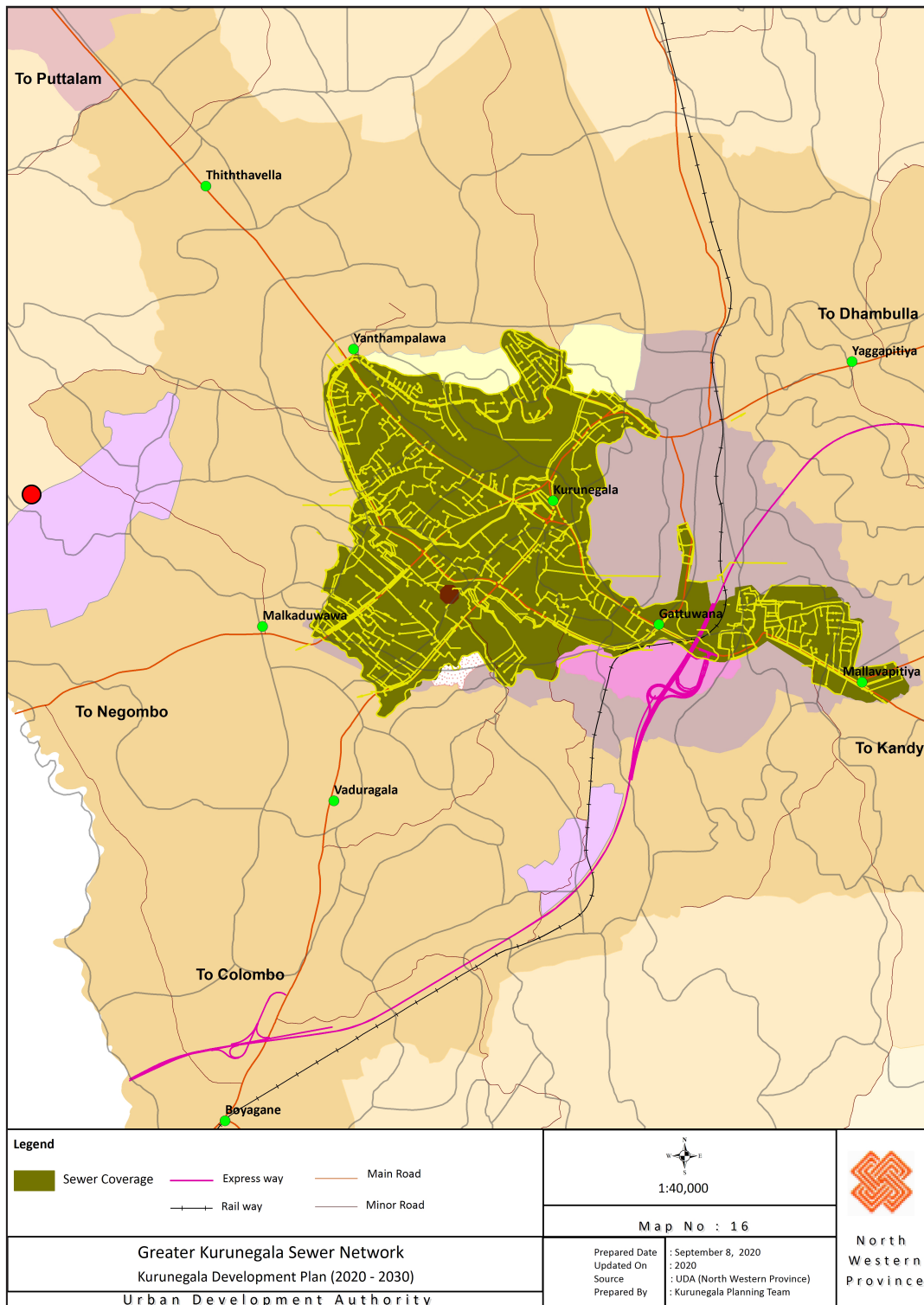
Source ; Water Supply and Drainage Board - 2017

2.2.5 Drainage System and Waste Water Disposal

The two water ways called Boo Ela and Wan Ela of Kurunegala Town pave way to discharge storm water covering 78% of the Town by running through residential, commercial and cultivated lands up to a distance of 6km. At the same time these water ways feed 230 acres of paddy lands through Wilgoda sluice. There are instances of directing waste water in to the water ways. The problem has now been solved with the implementation of the sanitary project which covers the sewerage and waste disposal of almost over the area of the Town by National Water Supply and Drainage Board. (Map No. 2.6 and Table No. 2.6)

These water ways having met at Wilgoda and go up to Yatiwehera Estate wherein they meet each other and become one canal and flows down into Maguru Oya (at the western boundary of the Town) However residents in the area at Wilgoda face the disaster of flooding temporarily or once a year owing to low rate of dischargability (reasons such as narrowness of water ways, curvature of water ways). Thus nearly 70 number of houses located right round the area likely to go inundated for 2 to 3 days. The temporary flooding situation could have been possible to overcome by widening the water ways. Apart from this there are also occurrences of minor flooding such as inundation of roads at different localities due to the fact that low velocity of water flow in the outer areas of the Town which is a different situation when compared to the situation of the Town where the velocity of flow is high in that the water ways running through the town are made from cement conversely that of outer area naturally being made from earth as natural canal. (NWSDB 2005, ECL 2000)

Map No. 2.6 - The area covered by current sewerage system



Source; Urban Development Authority – North Western Provincial Office 2018

Table No. 2.6 - Capacity of Sewerage and Sanitary Project

Project Duration	2014-2017
Beneficiaries homes / institutions	4500
Beneficiaries population	43000
GN Divisions (total)	11
GN Divisions (Part)	02
Daily capacity	4500m ³
Investment amount	Rs (MN) 13248

Source ; Sewerage and Sanitary Project - 2018

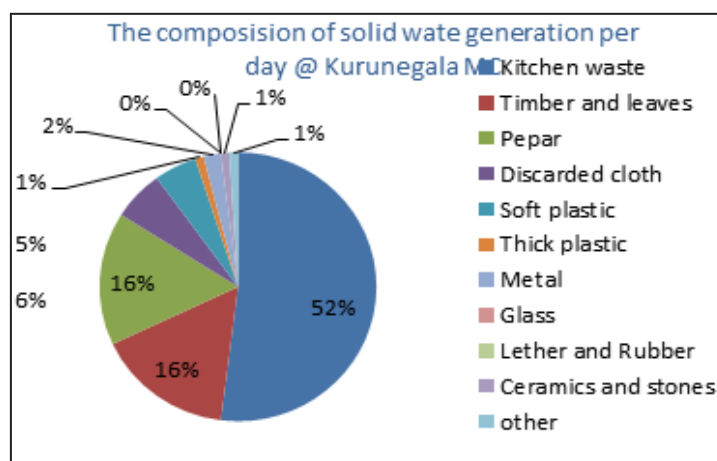
2.2.6 Disposal of Solid Waste

According to the data provided by Kurunegala Municipal Council and Pradeshiya Sabha the daily generation of solid waste is around 53 Tons of which 44 Tons claim by the Kurunegala Town while 9 Tons go to Pradeshiya Sabha. Along major roads and in the CBD the garbage is collected twice a day whilst in residential areas organic materials and inorganic materials are collected every other day.

In the CBD only the solid wastes are collected by hand carts and are loaded in to Tractors and in all other areas solid wastes are collected by Tractors from each house. Only the separated solid wastes are taken in to Tractors in the Town and waste that are biodegradable collected by day after the day. Organic wastes are disposed onto the 12 acres land belongs to the Municipal Council located within Sundarapola reserve and the inorganic wastes that is Plastic and Cardboard etc. having separated and purified are sold by the council.

The composition of solid waste generation per day within Kurunegala Town Area is as follows:

Graph No 2.1



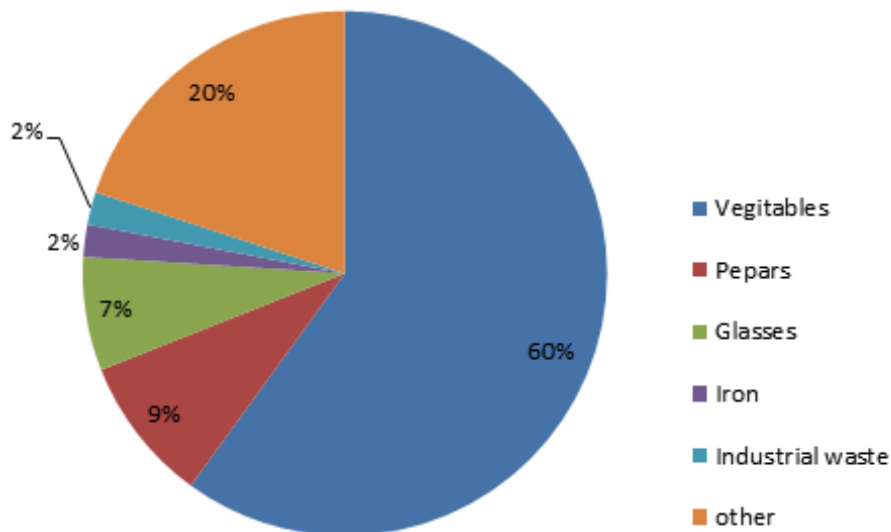
Source : Municipal council, Kurunegala

1800 number of compost bins in the nature of 1500 concrete barrels and 300 Plastic barrels have been distributed to the houses within Municipal Council Area. The gross monthly product of organic fertilizer at Sundarapola waste yard is around 2010 Tons and its monthly income is Rs.11,933 .

Daily wastes collection take place in commercial areas of the Pradeshiya Sabha only up to 100m along five main roads according to Pradeshiya Sabha. And the 9 Metric Tons are collected daily is given to Sundarapola waste disposal yard (Annex Map No.2.7). The perishable solid wastes within the Pradeshiya Sabha are 7 Metric Tons while the non-perishable are 2 in number.

The composition of daily solid waste generation within Kurunegala Pradeshiya sabha is as follows:

Graph No. 2.2 The composition of solid waste generation per day. Kurunegala PS - 2017



Source : Pradeshiya sabha, Kurunegala 2017

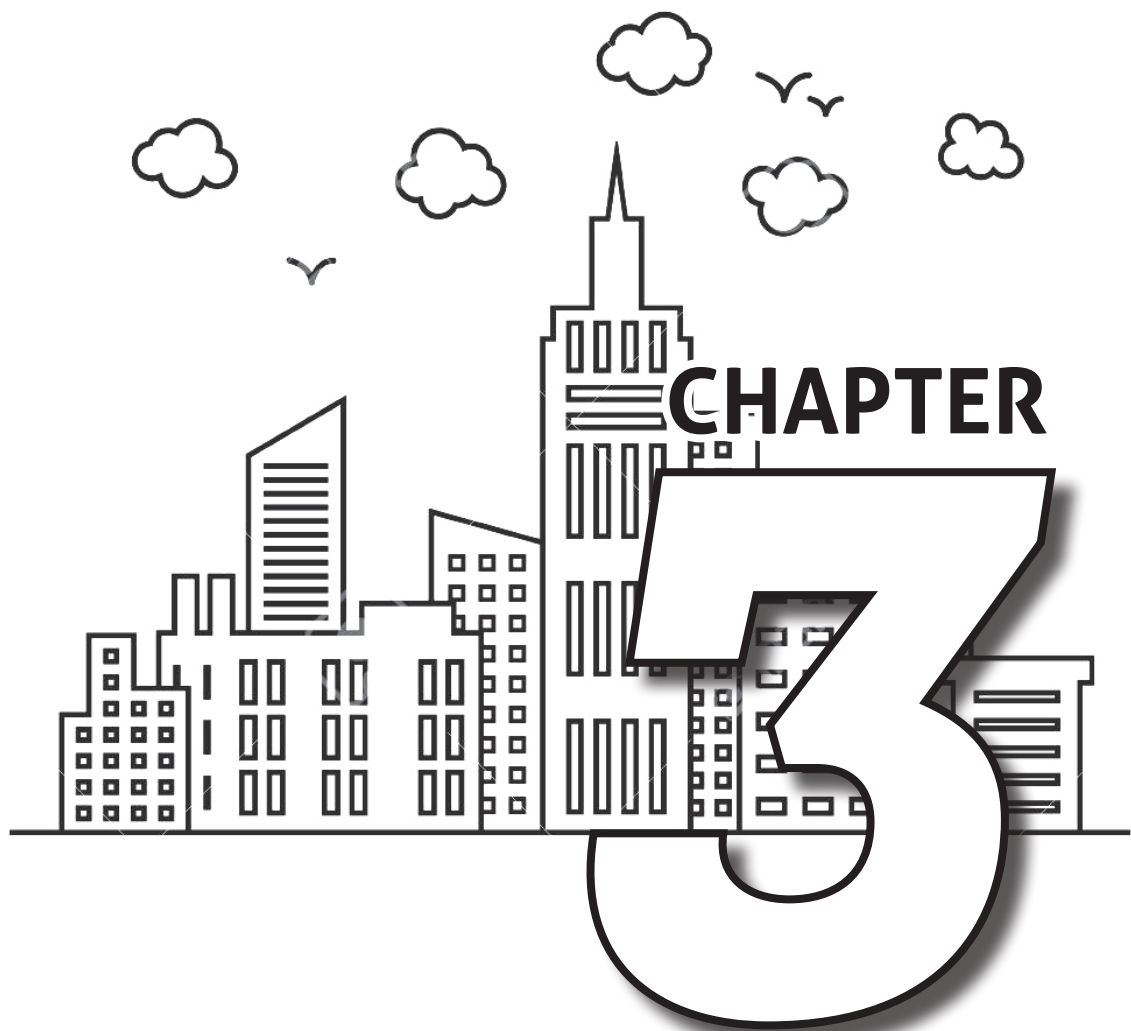
Map No. 2.7 - Solid waste disposal system Kurunegala 2017

Source: Urban Development Authority – North Western Provincial Office 2017

2.3 The delineation of The Area Subjected to Town Development Plan

The total area covering both Kurunegala Town and the Pradeshiya Sabha has been studied as the preliminary study area in preparation of this Development Plan. After weighing on the basis of certain criteria such as population growth rate, population density, commercial use, expansion of infrastructure facilities etc. the appropriate area declared under Urban Development Authority Law for the preparation of Development Plan has been determined.

However both the Kurunegala Town Area and the Pradeshiya Sabha Area have been selected as the planning area because there is an initiative to declare the Pradeshiya Sabha Area under Urban Development Authority Law and almost the total area so to be declared likely to be subject to the influence of the National Physical Planning Policy and the National Development Projects.



Need of the Plan

Chapter 03

Need of the Plan

The need for a Development Plan could be spelled out as follows according to the facts identified by the preliminary study.

There is a need for the Development Plan for orderly development as the Development Plan Gazetted in 2006 had gone unenforceable after 2015 while it had focused on to the Kurunegala Town limit only wherein it had not been based on virtual urban limit so that the basic features of irregular and disorder development tend to be embodied.

According to the surveyor carried out during the preliminary study the following major problems were identified and the need for a new Development Plan has strongly been felt to give due contribution in such a way to minimized the said problems by focusing on to orderly development to increase productivity by improving efficiency.

3.1 Major Problems Identified in the Preliminary Study

3.1.1 Problems Related to Traffic and Pedestrian Mobility

I. Much time consumption to pass the Town.

It was identified that the maximum traffic running capacity of the main road maintained by Road Development Authority has been exceeded according to the road capacity analysis carried out by them thus a traffic congestion could frequently be seen from Kadurugas Junction to Clock Tower, from Puwakgas Junction to the Town Center, from the Center to Mallawapitiya and at Bauddaloka Mawatha.

Thus at peak hours (at the beginning of schools and the end) it would take nearly 35 minutes to walk a 2km distance within the Town that would lead to decrease the degree of efficiency and productivity and in consequence Town becomes unpleasant for the people. (for more details vide chapter 5)

II. Non-availability of easy access to the pedestrians.

It was observed that there were no facilities of easy access for the pedestrians owing to the fact that narrowness of road widths within the CBD (Church Road, Dr.Silva Mawatha, Maliyadewa Mawatha) parking on both sides of the roads use of pavements for other purposes etc. In consequence the Town has become an unpleasant place for the commuters

Figure No. 3.1 Non-availability of easy access for pedestrians



Church Road

Maliyadewa Mawatha

Source : Urban Development Authority, NW Provincial office 2019

3.1.2 Problems in the Development Pattern.

I. Problems of the land use and land ownership in the Town.

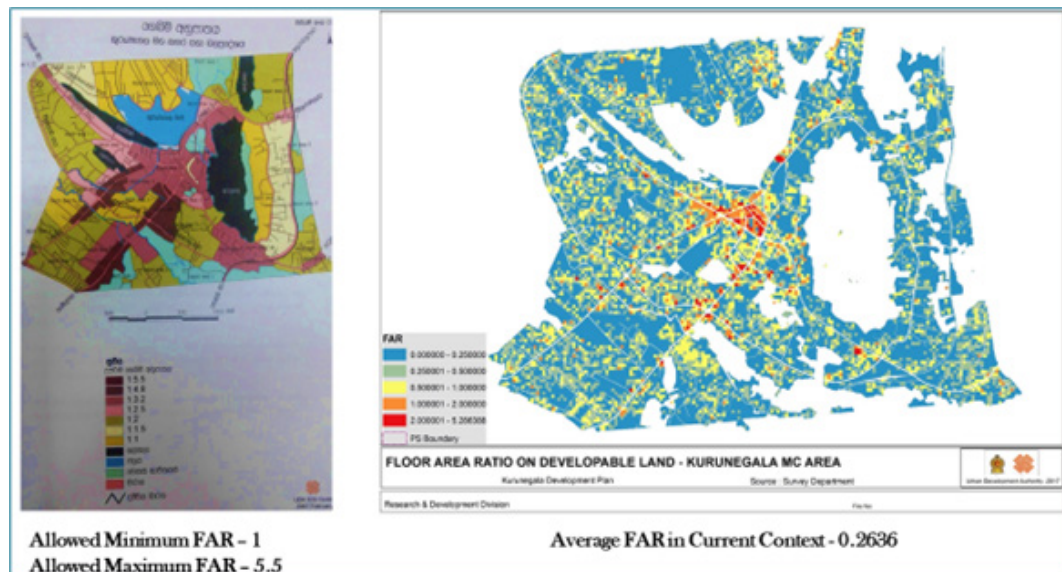
It is observed that 10% of the total commercial area of the Town has been set apart for uses such as schools and government offices for the reason that Kurunegala Town had been created as a main Administrative Center during the British Rule. (Map No.2.4)

Thus there are large number of government offices within the Town center and problem identified wherein is that lands of higher commercial value have not been put in to optimum use owing to the fact that existence of single storey buildings therein.

While all the schools in the Town are located within a 500m distance from the CBD the land use of that nature has led to massive traffic congestion. In spite of this situation there are also administrative problems as to the relocation of schools such as St. Ann's and Holy Family.

II. Existing low development in the Town.

Though the Town being located as junction Town in connecting major Towns in Sri Lanka that advantage could not have been tapped by the Town according to the Floor Area Ratio (FAR) (Figure 3.2). As per this plan a 100m² area of the Town shows a FAR of 2 to 5 while 90% of the area shows 0.25. Compare to other Towns though there is a higher number of commuter population in the Town the level of Town development compare to it is negligible.

Figure 3.2 - Floor area ratio in Kurunegala Municipal Council area

Source: Kurunegala Town Development Plan 2006 - 2015

III. Misuse of lands in the CBD

The commercial developments in the triangular area of the CBD covered by Main Street, Parakumba Street, Bodhiraja Street depict in the form of 3 to 4 storeys by reason of the fact that nearly 90% of the lots consists of 2 to 3 perches that are less than 6 perches and only the ground floors are observed to be used for commercial activities while the remaining floors set apart for storage purposes and lodging. Thus it is evident that lands in the CBD have not been put in to optimum use.

3.1.3 Loss of the Identity of the Town

Athugala of Kurunegala Town which was reputedly known as Athugalpura and the Clock Tower located at the center of the Town which is the War Memorial Tower built for those who scarified their lives for the World War 2. It is necessary to preserve the identity of Athugala when the planning is carried out since it was of the opinion by very many as per the cognitive surveyor that planning be done in such a way to make Athugala being an attractive scene visible for a large area.

It is observed that non utilization of certain natural reserves such as Ibbagala, Andagala, Kuruminiyagala etc. forming and encompassing as great wall to the town, Kurunegala Lake, Badagamuwa Forest reserve appear to be main problems.

At the same time even the Rajapihilla Park which is considered to be urban square while lies in isolation is a problem for not using for the Town development.

Thus in the process of preparing the Development Plan overlooking of these isolated components such as Athugala being the identity of the Town tend to make the Town common or genaral. Hence there is need for a Development Plan.

Moreover there is further need for this endeavourment as Kurunegala Town has being recognized as major economic center at the corridor that connects Colombo - Trincomalee through new national plan made by the National Physical Planning Department.

At the same time a new plan is essential to guide the development of the Town that is expected to be forthcoming with the following ongoing and proposed projects as these projects would make a significant change in the development of the Town.

3.2 Proposed and ongoing projects within the study area

3.2.1 The central express way development project

The central express way development has been identified by the National Plan 2007 - 2017 and is already commenced. It is expected to be completed by the year 2025. This express way is proposed to be extended up to Dambulla under following phases by crossing through the Towns such as Gampaha, Meerigama Kurunegala etc.

Phase 1 - From Kadawatha (0.0km) to Meerigama (37.1km)

Phase 2 - Form Meerigama (37.1) to Kurunegala (76.8km)

Phase 3 - From Pothuhara (0.0km) to Galagedra - Kandy (32.5km)

Phase 4 - From Kurunegala (76.8km) to Dambulla (137.1km)

The location of Gattuwana interchange and Railway Station of Kurunegala in close proximity to each other at this express way could be identified as a strategic location for future Town development. Thus Kurunegala Town development should be directed to an appropriate path upon this strategic location. Similarly the spread effect to be forthcoming from the interchangers of Gattuwana and Dambokka should also be focused on to the development of this planning authority area.

Figure No. 3.2 - Gattuwana and Dambokka interchange



Gettuwana



Dambokka

Source : Road Development Authority , 2017

3.2.2 Extension of Railroad

It is proposed to implement a project of railroad extension from Kurunegala to Dambulla and a project to improve the existing railway lines of Kurunegala to Polgahawela in to a dual track.

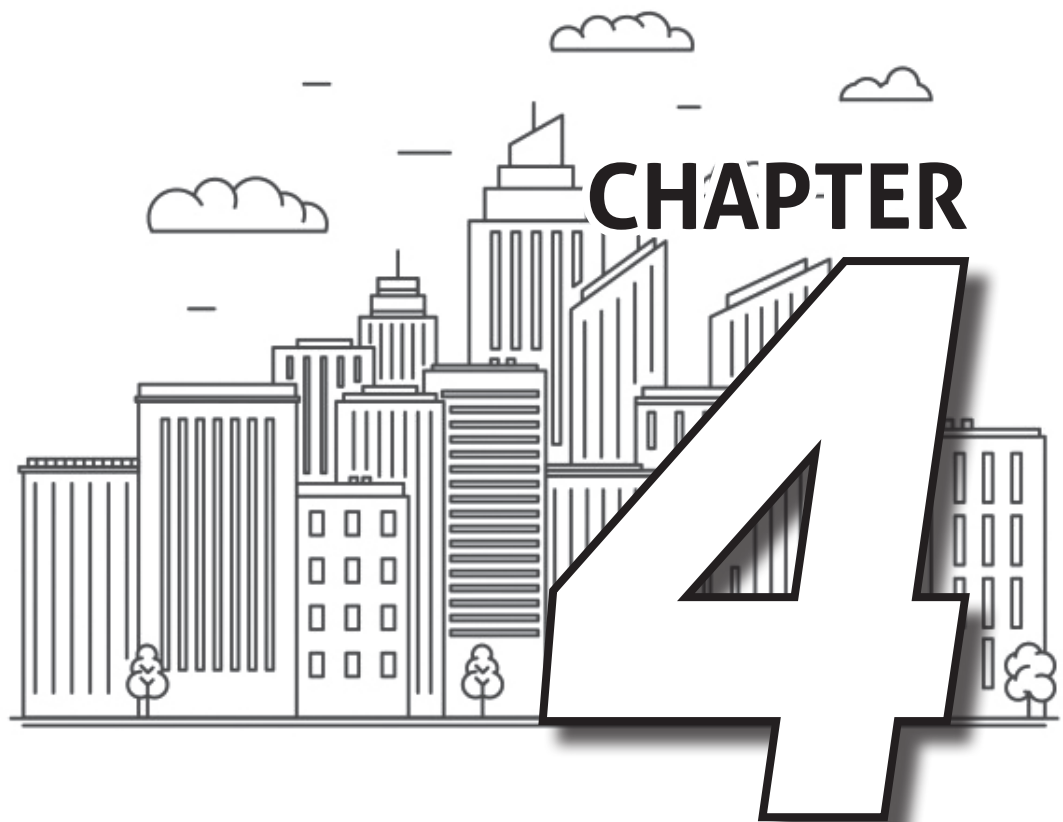
3.2.3 Road development projects

A four lane road development project from Dambokka to Badagamuwa on A6 road maintained by Road Development Authority is under implementation.

Hence there is a need for a Development Plan to focus the development on to appropriate direction by integrating all traffic means for the reason that increase of efficiency of the Town as a transport center would expedite in view of the aforesaid project.

3.2.4 The national school under construction

Action to construct a national school with sport facilities including swimming pool by the education department is underway.



The Planning Framework

Chapter 04

The Planning Framework

4.1. Vision

**“The Emerging Wayamba
Metropolis Encircling
Ethugala”**

4.2 Vision Statement

4.2.1 “Encircling Ethugala”

Kurunegala town is known as ‘Hasthi Shaila Pura’ and ‘Ethugala’ in the era of the ancient kingdom, due to the large rock which can be seen as a shape of a sleeping Elephant. This physical arrangement and the locational advantage (located in the Eastern – Western Economic Corridor) help to develop this area as the main town center.

4.2.2 “The Emerging Wyamba Metropolis”

The Kurunegala town will be developed as the ‘Center of Economic Agglomeration’, with the potentials and the strategic locational advantages. It is recognized as a main economic center in the Eastern – Western economic corridor by the National Physical Planning Policy and the Plan- 2030. There are two highway interchange points and railway expansion projects also going to implement with focusing Kurunegala town. Consequently, the Kurunegala town is going to be developed as a center of Transit Oriented Development.

The National Physical Planning Policy and the Plan recognized, there will be lived more than one million of the population in the Kurunegala area by 2030. According to the physical and environmental arrangement, this area identified as disaster minimum, flat terrain area. This potential leads to residential oriented development. Apart from that, this is a highly accessible area from main roads, expressways and railways. It has the potential to develop commercial and residential uses in this area, from the proposed development plan.

The Kurunegala town consists of the potentials of services and transportation. It is necessary to develop this town as the main town center with economic strength, using the available potentials to provide qualitative and quantitative services for, both city dwellers and the commuting population under the vision statement.

4.3 Goals

1. To become vibrant economic center for East, West, Northern and Central regions.
2. The most attractive residential population agglomeration in the region.
3. Preservation of ‘character /identity’ of the Kurunegala.

4.4 Objectives

4.4.1 Goal 1 / Objectives

To become vibrant economic center for East, West, Northern and Central regions.

1. To develop as the specialized center of the economy by 2030.
 - The existing town center develops as the service and economic center.
 - To establish a transit oriented development hub, around the Gettuwana Interchange of central-expressway and the railway.
2. Reduce the travelling time to 15 minutes for passing the town center (2km of distance) during the peak hours, through an integrated transportation plan by 2030.

4.4.2 Goal 2 / Objectives

The most attractive residential population agglomeration in the region.

1. Increased the residential population up to 250,000 in 2030 by enhancing the social and physical services.
2. To develop sustainable residential zones by 2030, with preserving critical wet lands.

4.4.3 Goal 3 / Objectives

Preservation of 'character /identity' of the Kurunegala.

1. Established view corridors for selected places which will be seen the 1/3 of Ethugala by 2030.
2. Open up the hidden monuments (Rajapihilla Garden, Rajapihilla Rest House, Clock Tower and Ancient Ruins of the Kingdom) to the town center by 2030.



**Strengths, Weaknesses,
Opportunities and
Threats (SWOT) Analysis**

Chapter 05

Strengths, Weaknesses, Opportunities and Threats (SWOT) Analysis

5.1 SWOT Analysis / Goal 1

To become vibrant economic center for East, West, Northern and Central regions

Table 5- 1 SWOT Analysis – Goal 1

STRENGTHS	<ol style="list-style-type: none"> 1. A large number of daily mobility as 300,000, when compared with other main parallel capital cities in Sri Lanka. (Anuradhapura 150,000, Kandy 350,000, Galle 150,000) 2. Main Junction Town of connects five main roads which are connect north and south regions in Sri Lanka 3. North Western Province accede the third place from total GDP in Sri Lanka 4. The computer literacy rate of the Kurunegala district parallel with the national level. 5. Commercial Development Tendency is increasing annually
WEAKNESSES	<ol style="list-style-type: none"> 1. High traffic congestion in the city center- The exceeding the Design capacity of the road. 2. Lack of integration between the railway station and the bus stand. 3. More than 10% of lands in the core town area belong to schools and government offices. 4. Inadequate parking spaces cause to park vehicles either-side the main roads. 5. Main roads directly connect to the residential roads. (Roads and narrow roads are not connected)
OPPORTUNITIES	<ol style="list-style-type: none"> 1. Nine National Cities have been identified in the current government manifesto and Kurunegala has been identified as one of them. 2. The Kurunegala town recognized as a main economic center in the Eastern – Western economic corridor (Colombo – Trincomalee) by the National Physical Planning Policy and the Plan 3. Proposed and ongoing, national level development projects. <ul style="list-style-type: none"> • Central expressway and proposed highway interchanges • Proposed railway development project - Kurunegala to Dambulla • Proposed double track railway line – Polgahawela to Kurunegala 4. Proposed and ongoing, local level development projects.
THREATS	<ol style="list-style-type: none"> 1. High temperature in the city center due to climatic change affected to the region.

5.1.1. Strengths

1. High amount of daily mobility

Table No. 5- 2 Daily commuting population - 2017

Section	Population	Percentage
Population circulation in the town	18,120	6%
Road Passenger Transport service (General)	129,341	45%
(Luxury)	20,120	7%
Sri Lanka Transport Board	57,485	20%
Road Passenger Transport service and Sri Lanka Transport Board buses go through the town (Luxury and General).	7,473	2.6%
Railway Transport service	1,437	0.5%
Private vehicles	54,323	18.9%
Total	287,425	100%

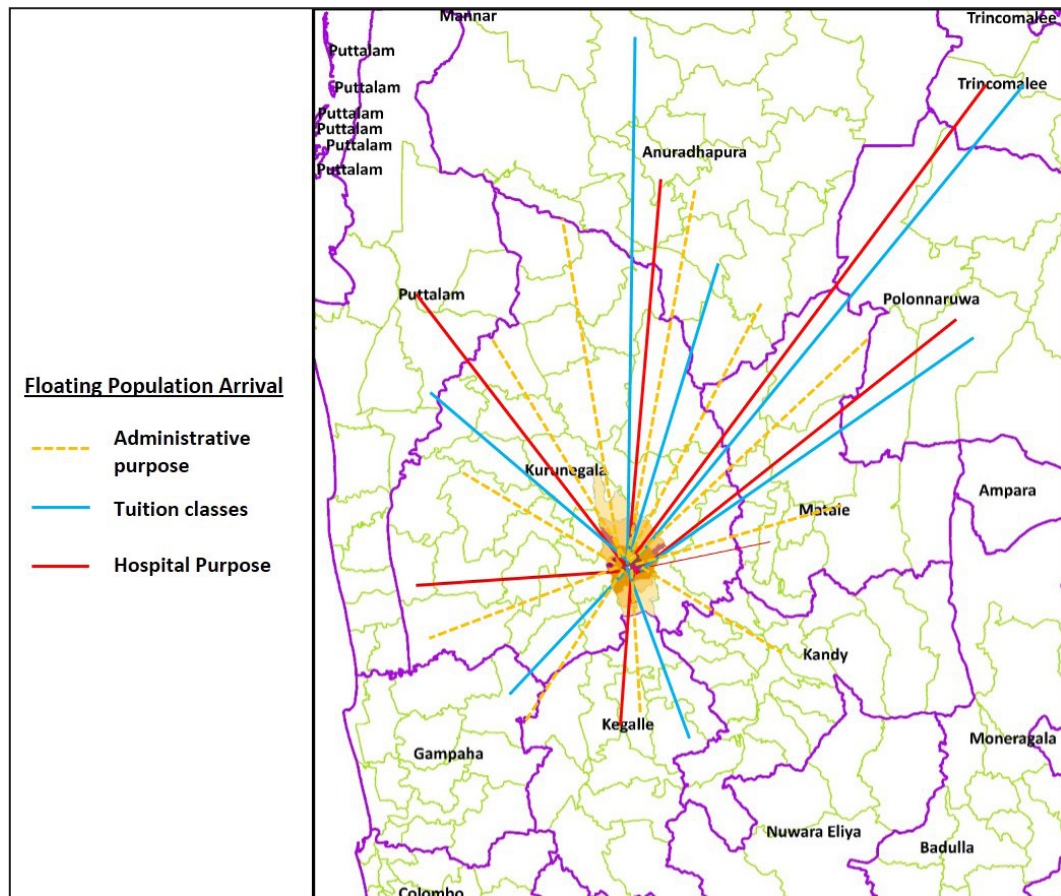
Source; Survey- Urban Development Authority, North Western Provincial Office, Road Passenger Transport Authority, Sri Lanka Transport Board – Kurunegala 2017

The Kurunegala town has a large number of daily mobility, when compared with other main parallel capital cities (Anuradhapura 150,000, Kandy 350,000, Galle 150,000) in Sri Lanka.

An agglomeration of services is the main reason for high daily mobility, according to community requirement analysis.

This is the main commercial center as well as the main administrative center. Because of that, 28,000 of employees come for government jobs and 2,080 of commercial institutions are located with providing about 26,421 of employment opportunities. All those employees daily are commuting from several directions.

There is a considerable amount of mobility happens from 50km – 100km distance to Kurunegala town, for targeting health services. Especially, 6,000 of patients are coming to government teaching hospital Kurunegala for treatments. Apart from that, more than 20,000 people commuting for health-related services such as visit patients, to channel private special doctors, etc. They come from several areas, for example, Galgamuwa, Puttalam, Kekirawa, and Kegalle. (Figure 5.1)

Figure.5.1 Catchment Area for Services

Source; Perception Survey, Urban Development Authority -2018

The famous schools of Maliyadeva Balika Vidyalaya and Maliyadeva College attract about 32,400 of commuting population. This amount is six times higher than the dwelling population in the Kurunegala town area.

Apart from that, Kurunegala is one of the main centers for education and tuition classes. Locational advantage and easy accessibility cause to attract vast catchment of population from several detractions such as, Trincomalee, Polonnaruwa, Kakirawa, Anuradhapura, Kegalle and Puttalam. There are 25,000 of children are coming on weekdays and it's increasing up to 100,000 at weekends. Famous teachers and lecturers also come to teach advanced level for all the schemes, including with Maths and Science.

Kurunegala town is famous for selling Japanese vehicles and vehicle parts. This also causes to attract a considerable amount of population into the town center from several regions of Sri Lanka.

The number of foreign agencies also located in this town center and it is nearly 178. Their accretive and reliable services attract about 4,000- 5,000 of daily mobility, according to a research report.

Higher educational centres such as Open Universities, Higher Education Institute, National Vocational Centers, and Training Colleges cause to attract people as a commuting population. But there cannot be identified tertiary

educational centers in Kurunegala area. This cause to migrate some amount of the population into Colombo.

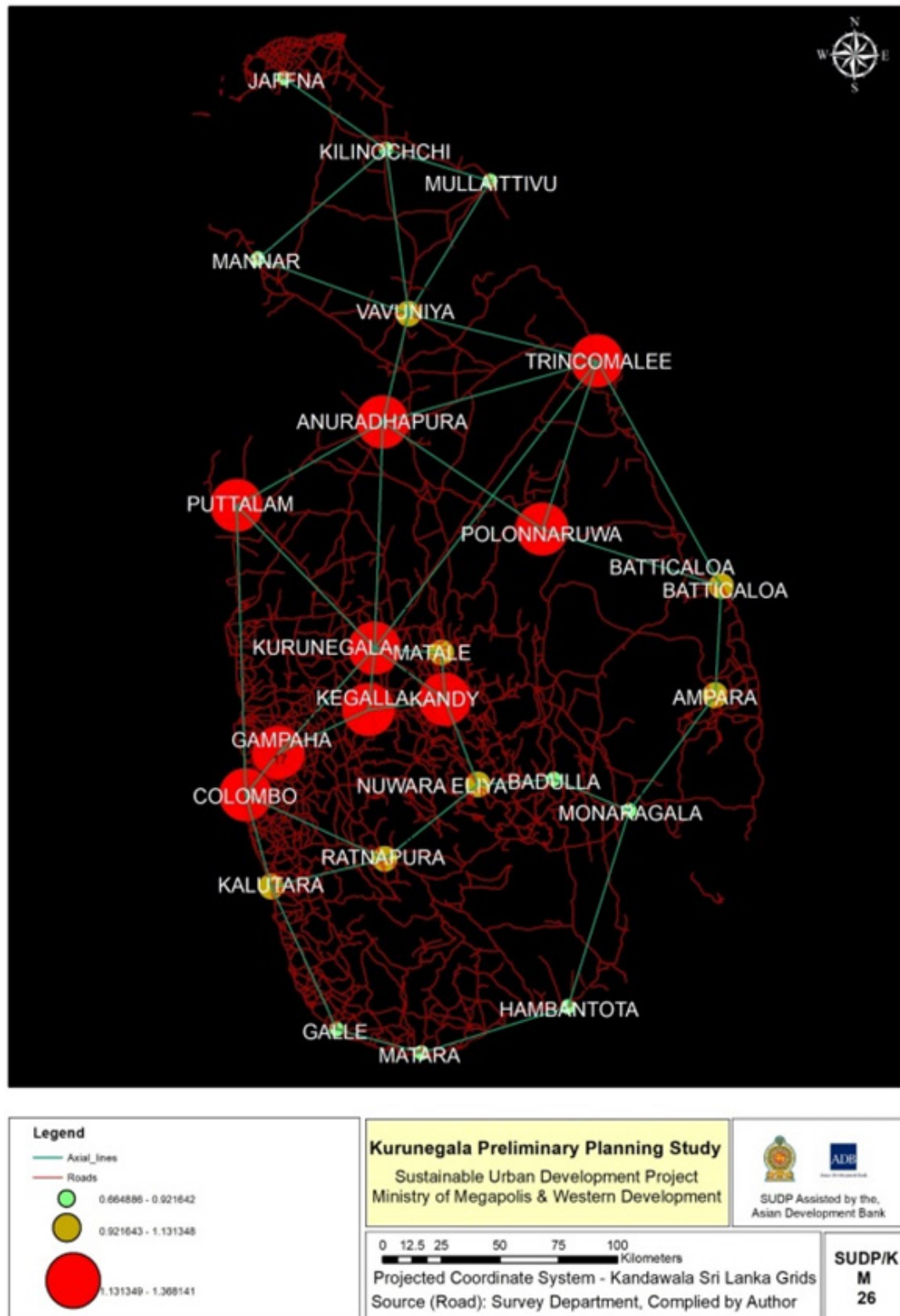
Moreover, communities daily come to the core town center with targeting administrative and commercial requirements. There are 15 of government banks, 11 of private banks, more than 74 of financial and insurance agencies are located in the Kurunegala town center. As a result of that, it can be identified as a high mobility of currency in this core town area.

Considering the population catchment of the Kurunegala town area, the average catchment size is 25 km radius buffer area and the special catchment area is about 50km of the radius of buffer. They are come with targeting health facilities, schools and tuition classes, buying vehicle parts, foreign agencies and higher education. According to the above data, the Kurunegala town has high and special commuting population pattern for different type of activities, when compared with other parallel town centers (Figure 5.1)

02. Main junction town in Sri Lanka which connects five main roads.

The Kurunegala town locates at a junction which connects five main roads. This connectivity able to connect north and south regions in Sri Lanka. As the main node, this town directly connects with main town centers of Colombo, Kandy, Polonnaruwa, Anuradhapura, Puttalam, Negombo, Matale and Trincomalee.

Connectivity analysis also proved that, this town center have same level of direct connectivity with the main town centers of Colombo and Gampaha. This potential help to develop this as an economic center (Figure 5.2)

Figure 5.2 Connectivity analysis - with town centers

Source : Sustainable Urban Development Project - 2019

03. North Western Province accede the third place from total GDP in Sri Lanka (Provincial wise GDP distribution 2009-2014).

Table No. 5.3 - Province wise GDP contribution (2009 – 2014)

Province wise GDP contribution (2009 – 2014)						
Year						
Province	2019	2010	2011	2012	2013	2014
Western	45.8	44.8	44.2	42.8	42.5	41.6
Central	9.8	10	9.8	10.2	10.5	10.4
Southern	10.5	10.7	11	11	10.4	10.9
Northern	3.2	3.4	3.7	3.7	3.5	3.6
Esatern	5.8	6	5.8	5.8	5.9	6
North Western	9.6	9.5	10	10	10.5	10.7
North Central	4.6	4.8	4.7	4.7	5	5.1
Uva	4.5	4.5	4.5	4.5	4.9	5
Sabaragamu	6.1	6.3	6.2	6.2	6.8	6.7

Source - Central Bank Report 2009 -2014

Analysis of the provincial wise GDP distribution, the North Western Province accede the third place. From the total GDP value, 1.5% belongs to the agricultural sector, 3.2% belongs to the industrial sector and 5.6% belongs to the service sector. As the administrative and commercial capital of the North Western Province, the Kurunegala town has provided a considerable amount of contribution to GDP.

04. Higher computer literacy rate in the Kurunegala district.

Table No. 5.4 - Provincial wise computer literacy

Province	Computer Literacy Rate
Sri Lanka	27.5
Western	38.5
Central	26
Southern	27.2
Northern	19.9
Eastern	13.4
North western	27.3
North Central	21.6
Uva	18.5
Sabaragamuwa	23.4

Source: Department of Census and Statistics 2017

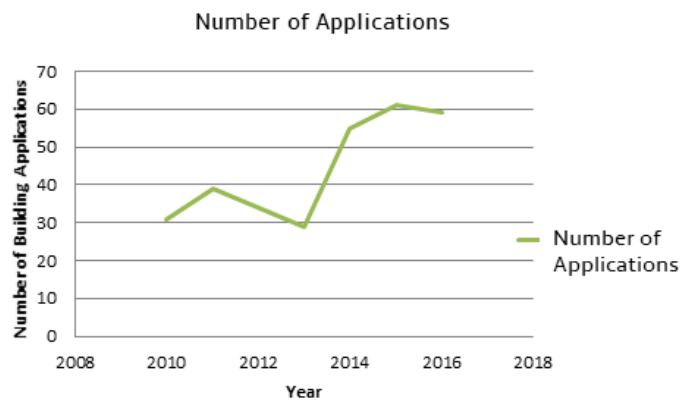
The computer literacy rate of the Kurunegala district indicate similar figure with the national level. As a result of that, most of them are employed in the information technology sector in nowadays.

05. Increasing commercial land use according to building applications data – Kurunegala Municipal Council

Table No. 5.5 - Commercial land use in Kurunegala Municipal Council Area

Year	Land use (%)
1998	1.47
2001	4.97
2017	7.3

Source ; Kurunegala Town Development Plan - 2015



Source ; Kurunegala Municipal Council 2018

Considering the evolution of changing the land use, the commercial usage increased during the 1997, 2001, 2017 as a considerable amount (1997 -1.47%, 2001- 4.97%, 2017-7.3%). This increment clearly, shows through the amount of building applications which are applied for commercial land uses in Kurunegala Municipal Council. In order to that, there is a potential to develop this town as an economic hub.

5.1.2 b) Weaknesses

01. Traffic congestion and exceed the design capacity in main roads

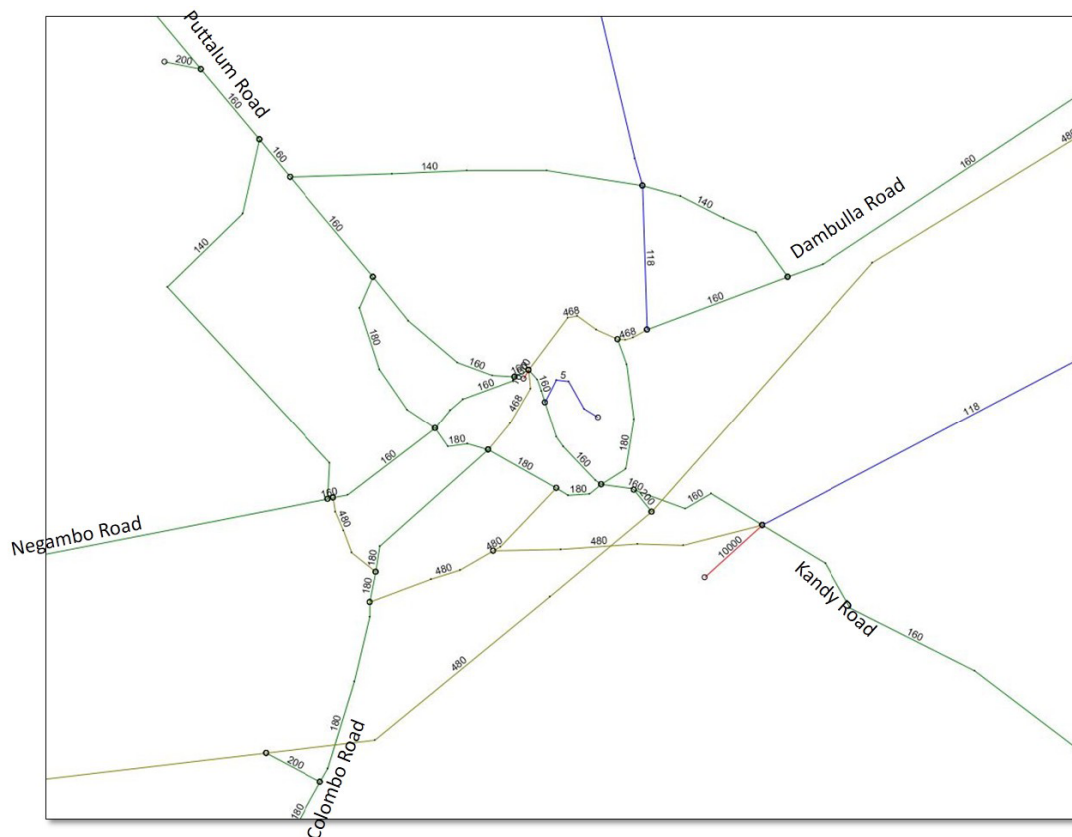
The road capacity analysis shows that, most of the main roads (belongs to the RDA) exceed their design capacities, according to a survey which is conducted by RDA (Figure 5.3 and 5.4). Kadurugas junction to Clock tower, Puwakgas junction to core town center, Core town center to Mallawapitiya and Baudhaloka Mawatha areas are main congested zones in Kurunegala town. It has to spend more than 40 minutes to travel 2km distance from the core town during the peak hours. This is one of main constraint to reduce the productivity and efficiency, as a town which depends on services.

Table No. 5.6 - Design capacities of the roads in Kurunegala town

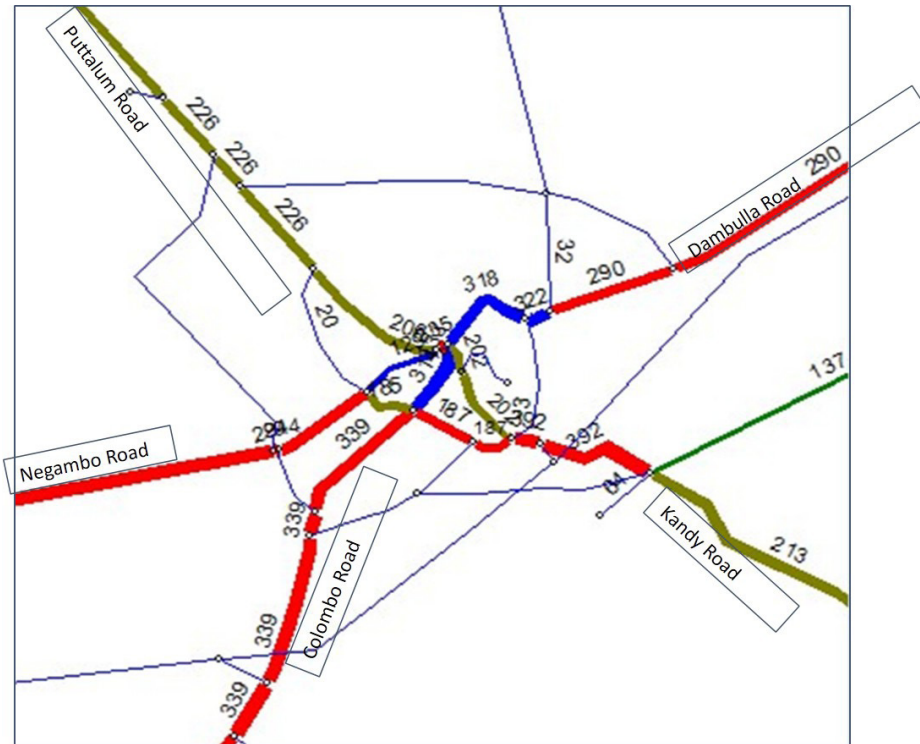
Road Name	Existing Vehicle Capacity	Present Vehicle Transportation
Puttalam Road	160,000	226,000
Kandy Road	160,000	392,000
Dambulla Road	160,000	290,000
Negombo Road	180,000	299,000
Colombo Road	180,000	339,000

Source; Road Development Authority- 2017

Figure No. 5.3 - Design capacities of the roads



Source; Road Development Authority- 2017

Figure No. 5.4 - Available design capacities of the roads - 2017

Source – Road Development Authority 2017 Survey

02. Lack of integration between railway station and bus stand.

Though this is the main junction town, which connects 5 main roads and locates three railway stations (Gettuwana, Muththettugala, Nailiya), there is no proper integration between two main modes of transportations (roads and railway). The Kurunegala railway station is located 2km away from the bus stand. As a result of that, a low amount of daily passengers (about 1,500) moves with railway transportation and it is only 0.5% of the daily commuting population. From them, more than 80% are daily travel to Colombo for employment. The nature of less integration prevents the potential of transportation.

03. More than 10% of lands in the core town area belongs to schools and government offices.

Kurunegala town center is the administrative center since the British Era. Most of the lands are belong to the government as a result of that. Hence, more than 10% of the developable lands are underutilized due to the land ownership (own to government offices and schools). All the schools are located within the 500m radius buffer from the core area and there can be identified administrative problems to relocate those schools (especially missionary schools such as St Anthony's, Holy Family Girls' School) from the town center. The traffic congestion happens due to the agglomeration of government offices and schools in core town area.

Though the accessibility and centrality factors attract the investors, they cannot invest in town center due to the problems of land ownerships. Accordingly, the investors tend to invest along the main arteries, considering the easy accessibility from the main roads. Consequently, it can be identified a linear development along the main arteries in Kurunegala town.

04. Lack of parking spaces

The problem of inadequate parking spaces cause to park vehicles either-sides of the main roads. It is disturbing to pedestrian movements and the main reason for traffic congestion. It will reduce the productivity and efficiency of the city.

**Table No. 5.7 - Park vehicles either-sides of the main roads
(10.00 am – 10.30 am)**

Place	No. of Vehicles
City center	1,023
Colombo Road	612
Negombo Road	437
Kandy road	199
Dambulla Road	203
Puttalam Road	285
Total	2,759

Source – Field Inspection of the Urban Development Authority 2018.03.26

05. Main roads are directly connect with residential roads (Roads and narrow roads are not connected).

Figure No. 5.5 - A narrow road connecting from Puttalam main road



Source : North Western Provincial division, Urban Development Authority 2018

However, the Kurunegala town has greater connectivity with five main roads, road network analysis shows the local roads do not have proper linkage with each other and most of the roads belong to the residential category, in the planning boundary area. Accordingly, those residential roads do not have public access and the commercial land use cannot be seen in those internal areas in the town center, because of the narrow nature of the roads. The development pleasure analysis also illustrates the commercial developments sprawl along the main roads as a linear development in Kurunegala town.

5.1.3 Opportunities

01. The position of the city of Kurunegala in the current State Prosperity Vision Policy

Nine National Cities have been identified in the current government manifesto (Vistas of Prosperity and Splendour) and Kurunegala has been identified as one of them. (Figure 1.1)

02. Future vision of Kurunegala, according to National Physical Planning Policy and the Plan -2030

It has an opportunity to develop the Kurunegala town as a main commercial center because this is identified as the main town center in Eastern-Western (Trincomalee to Colombo) economic corridor according to the National Physical Planning Policy and the Plan- 2030.

03. Proposed and ongoing, national level development projects.

- Central expressway and proposed highway interchange
- Proposed railway development project - Kurunegala to Dambulla
- Proposed double track railway line – Polgahawela to Kurunegala

According to the proposed development projects, two highway interchange points (Gettuwana and Dambokka) are located in Kurunegala area. The Gettuwana railway station and the proposed highway interchange point locate vicinity to each other. It is great potential to integrate two main transportation systems and hope to develop transit oriented development in this area. It has the opportunity to attract economic activities such as industries, IT-based villages and logistic hubs with upcoming development projects.

04. Proposed and ongoing, local level development projects.

- **Greater- Kurunegala Water Supply Scheme and Sanitary Project**

This proposed development project will introduce Pipe-born Water System, Sewerage and Stormwater Management System, which covered the whole Municipal Council area. It has the potential to develop a High Dense Commercial Zone with increasing the floor areas and land subdivisions through this project.

- **Road expansion project by RDA**

A part of an A6 road (Wehera to Polaththapitiya) upgrades as four-lane road and going to be expanded below roads with this project (table 5.8)

Table No. 5 8 Road widening details Road Development Authority

Road Name	Proposed expansion width (m)	Origin and Destination	Expanding distance (Km)
Kurunegala/Negombo Road (B247)	24 (4 lanes)	From Kurunegala to Narammala	19
Ambepussa –Kurunegala Trincomalee Road (AA006)	24 (4 lanes)	From Regland wat-ta to Wehera	3.5
Katugasthota –Kurunegala ,Puttalam Road (AA010)	24 (4 lanes)	From Mallawapi-tiya junction to Thittawella	07

Source ; Road Development Authority 2017

5.1.4 Threats

01. High temperature in town center due to climatic change affected to the region.

According to the community perception survey, 80% of people reveals that the temperature is high in the town center. The rocks which are located in north and eastern directions act as a barrier to the north-east monsoonal wind during November to March. The temperature is more than 30 °C during the north-east monsoon and sometimes it increased up to 36 °C in the core town area, but the recorded average annual temperature is 27 °C.

The high temperature level is a problem for the majority of the community. The proposed development plan should have to consider the natural wind corridors such as paddy fields, marshlands, tanks and water bodies.

5.2 SWOT Analysis /Goal 2

The most attractive residential population agglomeration in the region

Table No. 5 9 SWOT analysis - Goal 2

STRENGTHS	<ol style="list-style-type: none"> 1. Availability of developable lands for residential usage within the Pradeshiya Sabha area . 2. Kurunegala has high population growth rate when compare with national level and district level 3. Land subdivision increases annually for residential developmentsa. <ul style="list-style-type: none"> ▪ There is trend of settling the community within divisional secretariat area (Pradeshiya Sabha area), who comes for the town center with targeting services and administrative facilities. (there are 50 acres of lands are annually subdivided) 4. Flat terrain and disaster-free area.
WEAKNESSES	<ol style="list-style-type: none"> 1. About 500 families living in low-income houses, within the Kurunegala MC Area boundary. (Wilgoda, Polaththapitiya, Wew Gala) 2. Roads are narrow and not connected with each other. 3. There are no Pipe borne water systems control by Water Supply and Drainage Board, in Kurunegala area. (Pipe borne water supply is only limits Municipal Council area)
OPPORTUNITIES	<ol style="list-style-type: none"> 1. Kurunegala area identified as a most suitable area for residential usage - The National Physical Planning Policy and the Plan expecting higher residential development (10 lakhs of population within Kurunegala Metro region area) by 2030. 2. Existing and proposed infrastructure projects – Local level <ul style="list-style-type: none"> ▪ Greater- Kurunegala water supply scheme and the sanitary project. ▪ Pipe borne water system project proposed by Water Supply and Drainage Board by 2030. ▪ Road widening projects 3. Existing and proposed infrastructure projects – National Level
THREATS	

5.2.1 Strengths

01. Availability of developable lands for residential usage within the Pradeshiya Sabha area.

According to goal 2 the expected population increase is 50,000 and housing increase is 12,500 in 2030. Assuming the amount land extent per house as 15 perches, need 457 hectares of land extent for expected future housing requirement in 2030. It can be identified developable lands for residential usage, when studying the land use plan (map number 2.5)

- Coconut lands 5748.11 hectare - 23%
- Home gardens (Acre 1-2) 3300.31 hectare - 83%

Most of the coconuts lands are infertile which are located in the northern part of Kurunegala and it has the potential to subdivide those lands as residential usage. Apart from that, it has a possibility to subdivide the large land extent more than 1 - 2 Acre.

When studying the current residential usage and housing density, it has the possibility to fulfil the total requirement of residential lands in 2030 by land subdivisions.

Table No. 5.10 - Requirement of residential lands - 2030

Area North Western Provincial Division;	Total Residential Land Area 2017 (ha.)	Housing Amount 2017	Land Extent For One Housing Unit	Expecting Population 2030	Expecting housing units increment 2030	Requirement
Kurunegala Municipal Council	434	6,023	28	7,693	1,768	Land sub divide into 1/3
Urban area own by Pradeshiya Saba	3,816.6	23,545	64	26,235	6,913	Land sub divide into 1/3
Lands are not belong to Pradeshiya Saba	4,507.4	16,739	107	13,015	3,425	Land sub divide into 1/5

Source : North Western Provincial Division; Urban Development Authority 2018

02. The Kurunegala Divisional Secretariat Area has high population growth rate

Table No. 5.11 - Population growth trend 2001- 2017

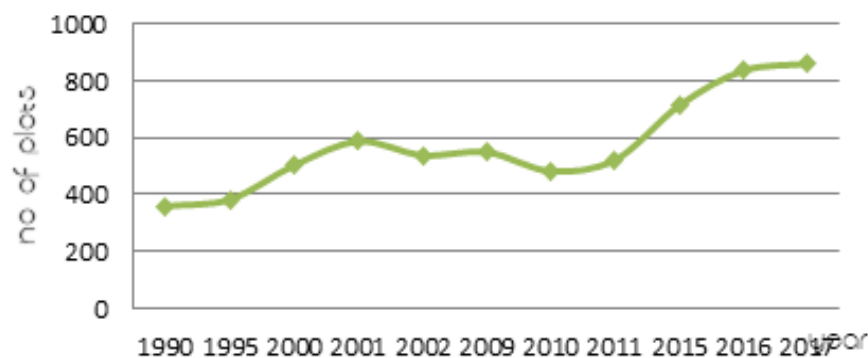
Area	Population				Population growth Rate		
	1981	2001	2011	2017	1981-2001	2001-2011	2011-2017
Sri Lanka	14,846,274	18,797,257	20,359,439		1.16	0.76	
Kurunegala	1,198,795	1,458,385	1,618,465		0.96	0.97	
Planning Area		163,602	167,651	180,399		0.98	1.23

Source: Department of Census and statistics - 2017

Comparing the population growth rates between Sri Lanka and Kurunegala, Kurunegala has a high growth rate. A large in-migration happens due to the agglomeration of employment opportunities and services (popular schools, hospitals, commercial activities) in the core town area. Similarly, higher population growth of 2011-2017 shows a positive trend than the 2001-2011, as a demographic factor.

03. Land subdivision increases annually, for residential developments.

Graph No. 5.2 - Trend of land subdivision – 1990 - 2017

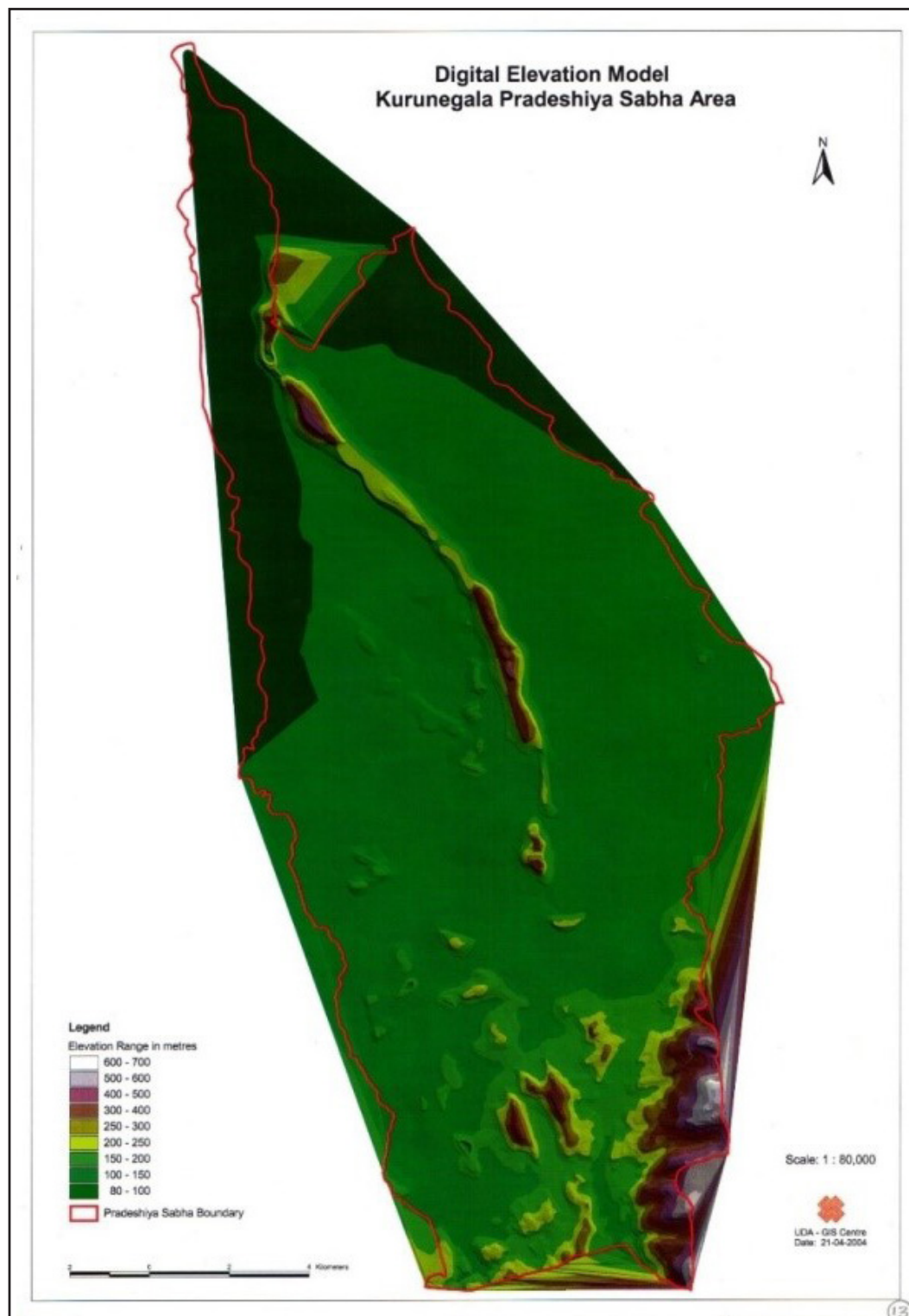


Source-Kurunegala Pradeshiya Sabha 2017

Above graph clearly illustrates the amount of land subdivisions for residential developments are increased with time series. People tend to migrate to town areas due to the agglomeration of services and economic activities in Kurunegala. As a result of that more than 50 acres of lands are converted to residential usage per year. There is a trend of establishing three-storey residential apartments in this area, according to building applications in the Kurunegala MC area (ex: 326 of Preliminary Planning Clearance are approved for apartments during 2017 May to 2018 May – (source; UDA data).

04. Flat terrain and disaster-free area.

Figure 5.6 - Elevation in Kurunegala area



Source ; North Western Province - Disaster Management Unit 2018

The Kurunegala town belongs to intermediate zone according to climatic classifications and located in the low country which below the 300m of elevation.

78% of rainwater discharge to the Maguru Oya by two canals called Buu Ela and Waan Ela. Those canals flow 6km of distance through residential, commercial and cultivated lands in the town core area. So, there can be identified a natural drainage pattern. As a result of that, it has a possibility to develop as a residential zone the surrounded town areas and Kurunegala Pradeshiya Sabha area.

5.2.2 Weaknesses

01. About 500 families living in low-income houses, within the Kurunegala MC Area boundary.

Table 5.12 - No. of low income housing units – Kurunegala M C Area

Place	No. of Families
Gettuwana	125
Weugala	25
Dambulla Road	90
Wilgoda	270
Total	510

Source - Urban development authority field survey 2018

Figure No. 5.7 - Labor houses – Wilgoda



Source : North Western Provincial Office, Urban Development Authority

More than 99% of low-income families are labours, who is working in Kurunegala Municipal Council. Above map illustrates the locations which they are settled and the Municipal council proposed to built-up a flat, as a solution for that issue.

02. Roads are narrow and not connected with each other.

The proper infrastructure facilities cannot be identified in inner residential areas because of the dead-end roads and narrow roads. Lack of connectivity also a main issue to develop this area.

Figure No. 5.8 - Starting and ending point of a road which connect to Puttalam road



Start of the road

End of the road

Source : North Western Provincial Office, Urban Development Authority

5.2.3 Opportunities

01. The National Physical Planning Policy and the Plan expecting higher residential development by 2030.

The National Housing Physical Planning Policy and Plan -2030 identified the corridor connecting Gampaha and Kurunegala town as the most desirable areas for development of residential zones due to disaster free nature. They expect to increase the residential population up to 10 lakhs in the Kurunegala Metro Region area. Here, expect to develop as high populated, residential zone by 2030 with an increasing population up to 250,000 within the planning boundary with the proposed development plan. It is a main opportunity which comes through the National Physical Planning Policy and the Plan -2030.

02. Existing and proposed projects

- The proposed water supply project by Greater- Kurunegala water supply scheme and sanitary project – 2030.

Table No. 5. 13 - proposed projects

	Name	TEC (Rs. Mn.)	Design Demand	Electorate.GN Division/DS division	Beneficiaries	Source	Remarks
1	Polgahawella -Alawwa WSP (stage I)	16,282.16	Total Supply - 29,000m ³ /d	Polgahawella, Alawwa, Galigamuwa, Rambukkana, Warakapola, Kurunegala, Werambugedara	180,000 (2030)	Ma Oya	Project under implementation
2	Wandurapinuella WSP	31,246	Total supply - 39,500m ³ /d	Mallawapitiya, Maspotha, Rideegama, Ibbagamuwa, Mawathagama, Kurunegala	219,400 (2035)	Proposed Wandurapinuella reservoir (Deduru Oya)	After receiving NPD approval & funds the project could be implemented
3	Katupotha Bamunakotuwa Integrated WSS	18,906.00	Total supply - 18,000m ³ /d	Kuliyapitiya East, Weeramugedara, Maspotha, Bamunakotuwa, Panduwanuwara East, West, Kobeigane, Wariyapola.	134,000 (2030)	Daduru Oya Reservoir	NPD approval received after receiving funds the project could be implemented
4	Thorayaya	366	Total supply - 850m ³ /d	Ibbagamuwa DSD	1500 families	Bore Hole	Project under implementation

Source - Water supply and Drainage Board 2018

This Greater- Kurunegala Water Supply Scheme and the Sanitary Project is one of the main ongoing project, which is conducted by Water Supply and Drainage Board to cover Kurunegala MC Area. It has the capacity to expand the sanitary project by introducing sewerage lines according to requirements of this community. In here they already acquired 9 acres of land from Malkaduwawa Grama Niladharee division to establish a sewerage treatment plant as a first step of this sanitary project.

The above table also illustrates this project covers the whole MC area. Ma Oya, Deduru Oya and groundwater wells are main water sources for this Pipe borne water supply project. The Kurunegala Pradeshiya Sabha area have possibility to develop as a residential zone with this proposed pipe borne water supply project in future (map number 6.11)

Central expressway and railway expansion project.

The Gettuwana highway interchange point and the Kurunegala railway station are located closer to each other. It is a great potential to integrate those two modes of transports to develop Transit-Oriented Development Hub. This integration and higher accessibility factors will efficient the transportation system in Kurunegala area. The community has the possibility to live in Kurunegala town because it has direct and easy access within a few hours (1-1 ½ hour) with other main towns such as Colombo, Kegalle, Dambulla, Kandy and Anuradhapura.

5.3 Swot Analysis / Goal 3

Preservation of 'character /identity' of the Kurunegala

Table No. 5. 14 - SWOT analysis - Goal 3

STRENGTHS	<ol style="list-style-type: none"> 1. The identity of the Kurunegala depends on the Ethugala from ancient time.
WEAKNESSES	<ol style="list-style-type: none"> 1. The current developments happen without considering the identity of Kurunegala. (illegal building constructions and the advertising cutouts)
OPPORTUNITIES	<ol style="list-style-type: none"> 1. Ethugala is a main memorable landmark for more than 80% of the people, according to the result of Cognitive Survey.
THREATS	

5.3.1 Strengths

01. The identity of the Kurunegala depends on the Ethugala from ancient time.

The Kurunegala was known as Ethugal Pura and Hasthi Sheila Pura from kingdoms era because of a large rock, which has a shape of an elephant. The name of 'Kurunegala' also donates due to this large rock according to legends. As a result of that, the visibility of Ethugala is a main strength to remain the identity of the city.

5.3.2 Weakness

01. The current developments happen without considering the identity of Kurunegala.

Figure No. 5.9 - The available buildings and advertising cutouts which are construct as disturbs to scenic of Ethugala



Figure No. 5.10 - The available Rajapihilla Garden and Clock Tower are isolated



Figure No. 5.11 - The location of Rajapihilla is isolated



Source : North Western Provincial Office, Urban Development Authority

The building constructions and the advertising cutouts are the main constraints for the visibility of Ethugala in nowadays. It should be introduced maximum heights for new vertical developments through the proposed development plan to provide an identity for the town, through Ethugala.

5.3.3 Opportunities

01. Ethugala is a main memorable landmark for more than 80% of the people, according to the result of Cognitive Survey.

The Kurunegala town has a large number of ancient and historical monuments in different eras, such as Rajapihilla Garden, Palace and Magul Maduwa in kingdoms era, the Clock Tower, which is built as a monument to the Second World War, The Court Complex, Church, Police and other historical building constructions in the British era. But the Cognitive Survey identified the Ethugala is the main memorable landmark for more than 80% of the people. Accordingly, it has the challenge to develop this town as a main economic center, with preserving the remaining identity.



CHAPTER 6

The Plan

Chapter 6

The Plan

6.1 Conceptual Plan

The conceptual plan illustrates the 'Future City Model' which is developed by the planners, for Kurunegala town and surrounded area. This proposed conceptual plan design by using the available potentials, proposed and ongoing development projects. It consists of solutions for identified problems within the planning boundary area. Basically, it will show future planning directions.

The Kurunegala town is a monocentric town which has historically evolved. It is located at the place, connecting five main roads as a junction town. The analysis shows that, this monocentric nature is the main reason for most available issues in this town. As a solution for that, the proposed conceptual plan hopes to develop this as a dual - centric town. In here, the existing town area (main junctions and the surrounded area) develops as 'Main Economic and Service Center'. Another town center develops as a 'Transit Oriented Hub', near the Gettuwana Highway Interchange Point and Kurunegala Railway Station Area.

The service center consists of administrative institutions, government offices and other service organizations. In here, mainly get the optimal usage from underutilized lands within the existing core town area, in order to attract community. The Gettuwana and surrounded area develop as a massive residential zone with the potential of proposed transit-oriented development.

This proposed dual-centric town consists of several zones. As the first zone core areas develop as high dense urbanized areas. A suburban zone develops next to that. Afterward, develop other zones being reducing the urban characteristics.

The proposed conceptual plan achieves sustainable development with enhanced economic, social, environmental and physical development. The Kurunegala town will become a sustainable main economic and service center in Sri Lanka by 2030.

Map No. 6.1 - Conceptual Plan



Source : Urban Development Authority North Western provincial Office , 2020

6.2. Proposed Land use Plan

Below cross sections illustrates the urban characteristics which going to be introduced through the new development plan.

The land use plan illustrates the proposed land uses for 2030. The Kurunegala town develops as a dual centric town by 2030 as describes in Conceptual Plan (map number 6.1) Here proposed to develops 7 sub-town centers parallel to that and Wellawa, Maspotha, Mathawa, Kiriwawla towns develop as urban service centers, as the main objectives of this land use plan.

The proposed plan going to reduce panning related problems, maintained the plot coverage within the town area, core town area develops as a high dense urban zone, introduce proper integrated road network in and surrounded to the two main town centers. As a town which can reach to any main town center in Sri Lanka; the Kurunegala town should develop with a proper transport plan to reduce available problems.

The upcoming mega-scale developments introduce to peripheral areas to expand the development to outside areas, by the proposed transportation plan. Here hopes to reduce the pressure in core town areas, by expanding that pressure to peripheral areas while attracting the developments. Apart from that, here introducing a proper zoning plan for sustainable development. The underdeveloped areas will develop by the proposed alternative road network. With that, available lands will develop as described in n below.

This proposed land use plan hopes to develop core town areas, with high dense vertical development with all types of infrastructure facilities, including sewerage and drainage systems. The other five peripheral zones will develop as decreasing the density respectively.

Figure No. 6.1 - Proposed Urbanization - Ethugala to Puttalam



Source : Urban Development Authority , North Western provincial Office 2020

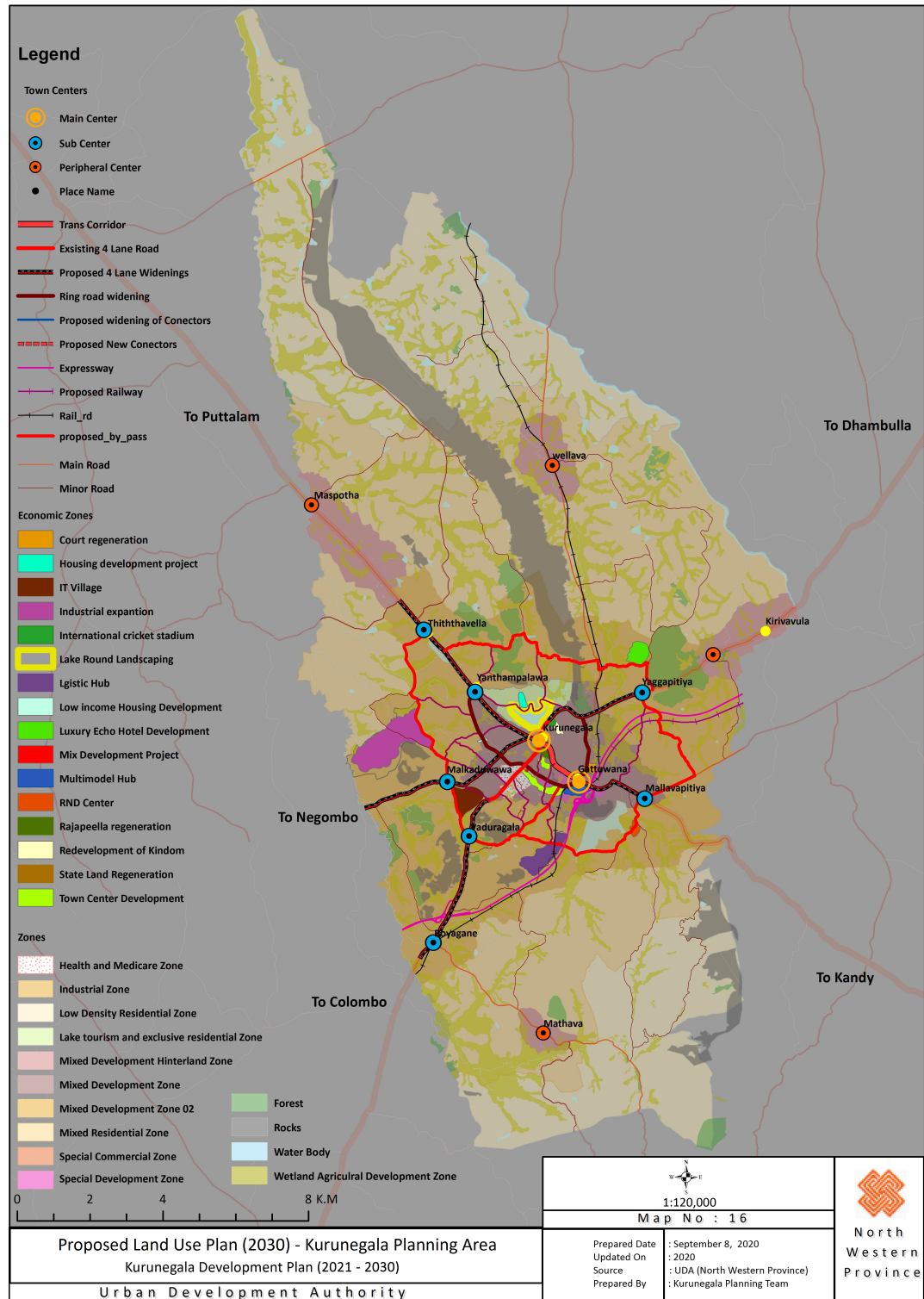
Above picture illustrates the proposed building arrangement, building density and characteristics of proposed zones along Kandy road including the Ethugala.

Figure No. 6.2 - Proposed Urbanization – Town Center to Colombo and Town Center to Dambulla



Source : Urban Development Authority , North Western provincial Office 2020

The above picture depicts the urbanization towards the city of Dambulla and Colombo. The density decreases systematically, away from the core town.

Map No. 6.2 - Proposed land use plan 2030

Source : Urban Development Authority North Western provincial Office , 2020

6.3. Physical and Social Infrastructure Development Plan

6.3.1 Services Plan

6.3.1.1 Proposed Settlement Plan

The Kurunegala district is disaster free, flat terrain area when compared with other districts in Sri Lanka. The vision ('Proper, Secure and Perfect land') of the National Physical Planning Policy and the Plan- 2030 also identified, the Kurunegala has the potential to develop a proper residential area because of its locational advantages. Here they expect to increase the residential population up to 10 lakhs within the Kurunegala metro region and it is 250,000 of the residential population, within the planning boundary, by 2030. The proposed development plan will develop the infrastructure facilities, according to future expected requirements.

The proposed settlement plan expects to develop residential usage within the planning boundary, while preserving the wetlands.

Table No. 6.1 - Proposed housing density by zone – 2030

Zone	2030 Estimated Population	2030 Estimated Houses	2030 Estimated Residential Lands (hectare)	2030 Population Density (persons per hectare)	2030 Housing Density (houses per hectare)
Special commercial zone	259	67	2.50	103	27
lake tourism and exclusive residential area	3,190	826	169.14	19	5
health and medicare zone	1,888	489	42.27	45	12
Special development zone	2,018	523	78.08	26	7
Mix development Zone	47,178	12,222	650.95	72	19
Mix development Zone 2	85,268	22,090	2,517.35	34	9
Industrial Zone	2,561	663	201.13	13	3
Mix Residential Zone	65,158	16,880	3,853.28	17	4
Mix development Hinterland zone	10,350	2,681	592.07	17	5
Low density residential zone	30,162	7,814	2,532.01	12	3
Total	248,031	64,257	10,638.78	-	-

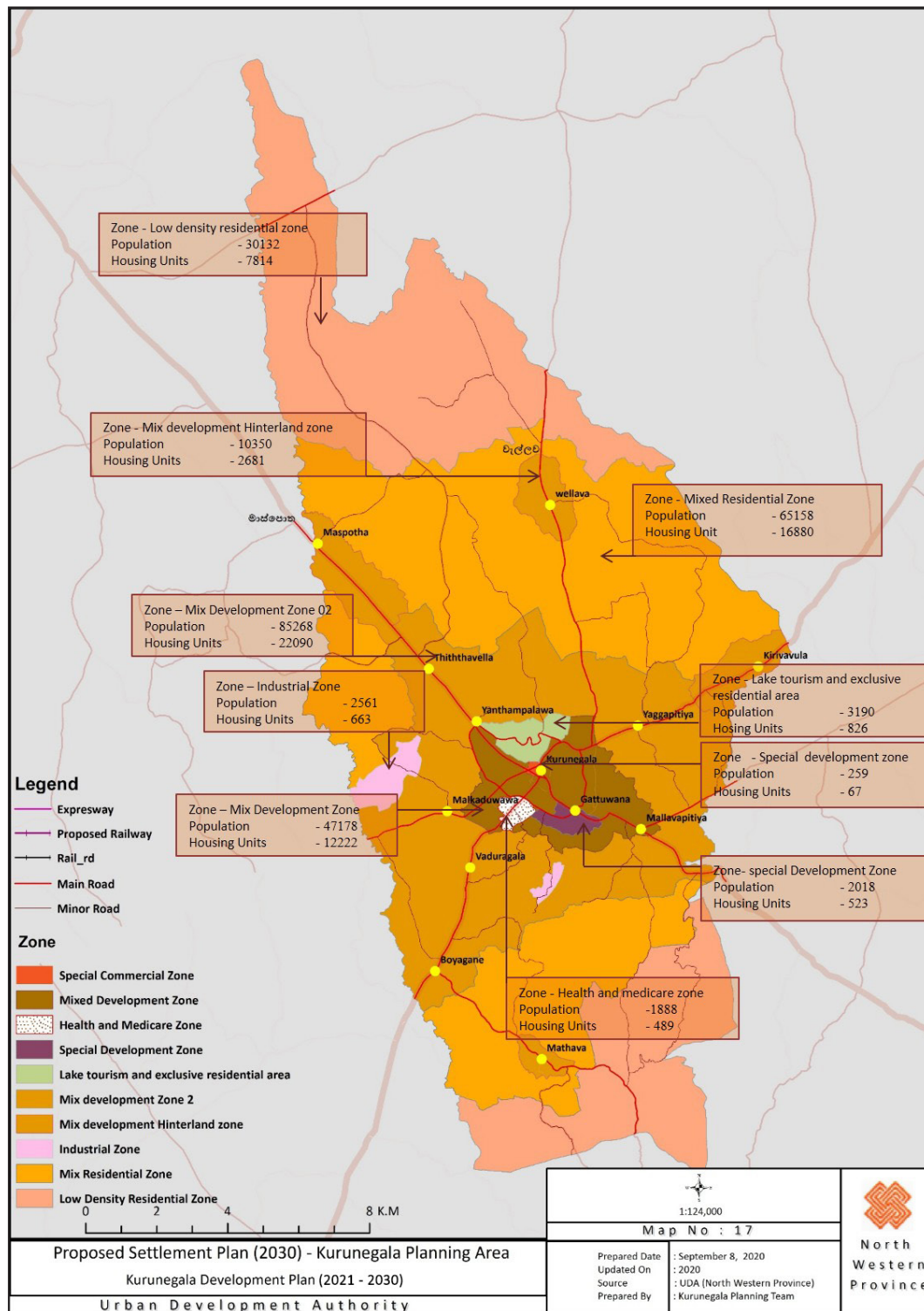
Source : Urban Development Authority North Western provincial Office , 2020

Here hopes to develop the planning boundary as ten density zones, according to the analysis (Livability Analysis, Potential Analysis, Sensitivity Analysis) which are carried out to identify the suitable lands for residential usage. As

described in table 6.1, 19 of housing units are located per hectare within the mix development Zone 01 and 9 housing units are located per hectare, within the mix development Zone 2 by 2030 Accordingly, the High Dense Urban Zone(mix development zone01 :MC Area) and the mix development Zone 2 will develop as high dense, attractive residential areas, including required infrastructure facilities.

The areas belong to the mix development Hinterland Zone, develop as medium density residential areas with increasing the quality and the quantity of infrastructure facilities. Mathawa, Maspotha, Kiriwawla and Wellawa are small scale town centers which, develop within Mix Development Hinterland Zone. The agricultural lands (coconut lands) which are located in Low Dense Residential Zone, preserve as it is, while increasing residential usage through the proposed settlement plan. (Map number 6.3).

Map No. 6.3 - Proposed Settlement Plan



Source : Urban Development Authority North Western provincial Office , 2020

Table No. 6.2 - Estimated housing units according to population - 2030

Zone	2030 Estimated Population	2030 Estimated Houses	2030 Estimated Residential Lands (hectare)	2030 Population Density (persons per hectare)	2030 Housing Density (houses per hectare)
Special commercial zone	259	67	2.50	103	27
lake tourism and exclusive residential area	3,190	826	169.14	19	5
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Mix Residential Zone	65,158	16,880	3,853.28	17	4
Mix development Hinterland zone	10,350	2,681	592.07	17	5
Low density residential zone	30,162	7,814	2,532.01	12	3
Total	248,031	64,257			

Source : Urban Development Authority North Western provincial Office , 2020

Assumptions

The future housing requirement were calculated, considering the population increment rate, available potentials for residential development, cost of infrastructure facilities, physical factors, environmental factors and future development potentials. According to that, assume 3.86 people per square meter as the population density.

The proposed development plan expecting 250,000 of population, by 2030. The housing requirement is illustrated in the below table, according to expected population growth.

Table No. 6.3 - The number of houses to be provided in 2030

Growth of housing units by 2030 (difference between 2017-2030)	17232
Homeless families	1350
Number of unauthorized families in reservations	786
Total Housing Requirement - 2030	19368
(Deduct)An increase of houses by 2030 based on the average annual housing growth rate.	12397
Number of houses -2030	6971

Source : Urban Development Authority North Western provincial Office , 2020

Assumption

Here assume the housing growth rate as 1.77 by considering the housing growth between 2012- 2017.

According to the data of monthly average income (per house) in census and statistics (2016), the housing requirement for 2030 divides into four categories considering the income level. It is shown in the below table.

Table No. 6.4 - Classification of households by income level

Income (Rupees)	Housing Types	Requirement of Housing	As a Percentage
23000 <	Low income houses	718	10%
23000-63700	Middle income houses (lower)	2605	37%
63700-115,000	Middle income houses (Upper)	2430	35%
115000 >	Luxury	1218	18%
Total	Houses	6971	100%

Source : Urban Development Authority North Western provincial Office , 2020

According to the above table, 718 of the housing units allocated for low-income families (unauthorized residents and homeless families), 2605 of the housing units allocated for middle-income families (lower level), 2430 for upper-level middle-income families and 1218 of luxury housing units for high-income families. Below table 6.5 shows the proposed housing development projects for each income class.

Accordingly, the estimated housing requirement will fulfil by highrise apartment in the identified locations.

Table No. 6.5 - Identified Housing Development Projects

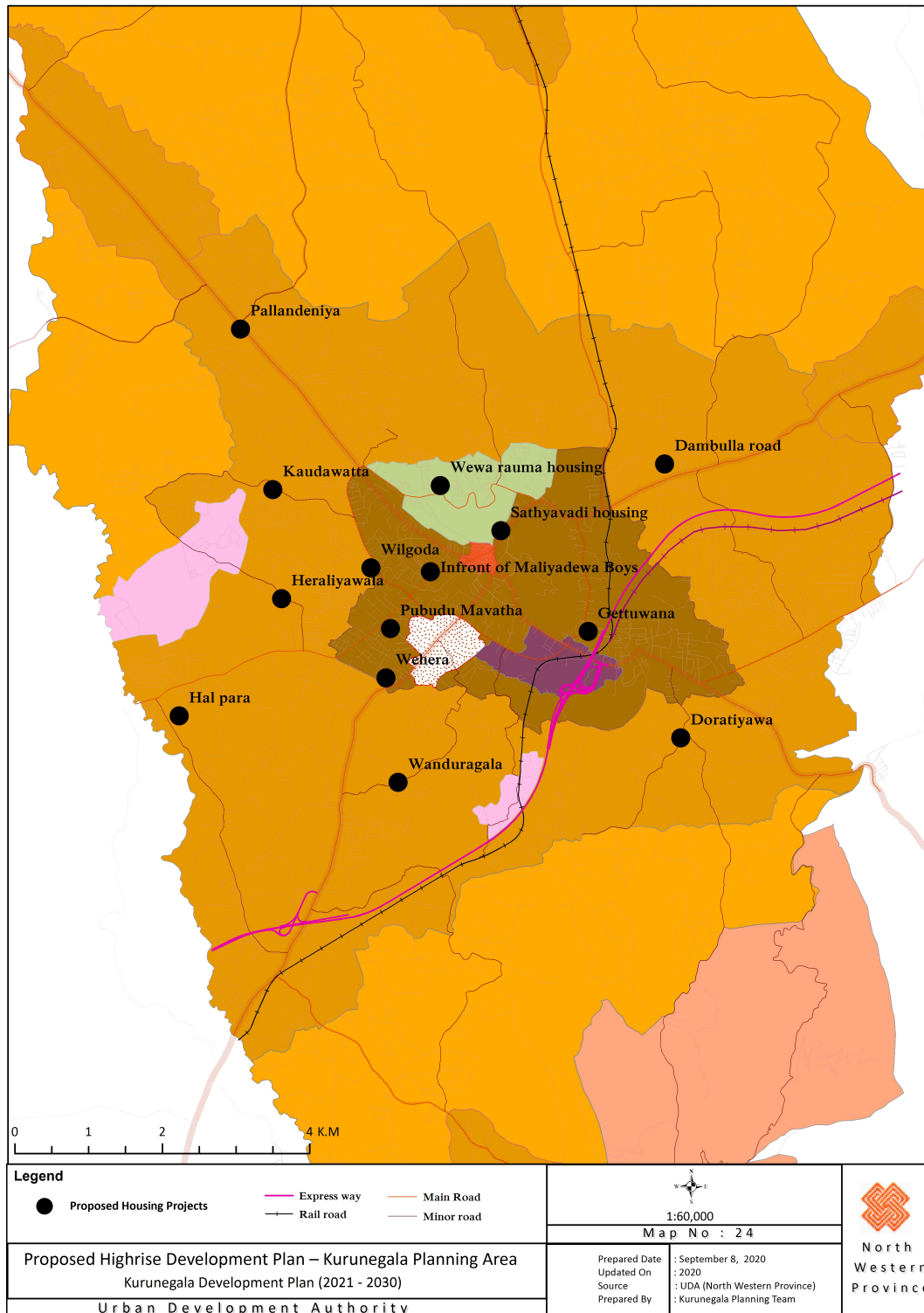
Place	Land Extent (Acre)	Housing Requirement			
		Low income	Middle income (lower)	Middle income (Higher)	Luxury
Pelandeniya Gonagama junction housing project	03	-	-	375	250
Doratiyawa housing project	05	-	100	450	250
Dambulla Road housing project	02	-	90	90	-
Wewa rauma housing project	12	-	-	650	550
Gettuwana housing project	05	-	150	150	50
Sathyawadi housing project	0.5	-	-	-	200
Heraliyawala housing project	02	-	600	-	-
Halpara housing project	15		950	500	-
Wilgoda housing project	02	500			-
Kaudawatta housing project	04	-	300	300	-
Waduragala housing project	02	-	450	-	-
Wehera (M.C Land) Housing Project	1.5	200	-	-	-
M.C Land Near Cemetery	0.5	50	-	-	-
Housing project Infront of Maliyadewa Boys school	0.5	-	30	-	-
Total	53.25	750	2670	2515	1300

Source : Urban Development Authority North Western provincial Office , 2020

Proposed methodology:

- Construction of flats in a lands which locates underutilized government quarters.
- Construction of housing projects through private investments by land acquisition (private own acquired lands)

Map No. 6.4 - Proposed housing development projects



Source : Urban Development Authority North Western provincial Office , 2020

6.3.1.2 Educational Service Development Plan

This educational development plan hopes to establish primary and secondary education institutions, for the expected residential population (250,000) by 2030.

Table No. 6.6 - The demand for school students by 2030.

	2017	2017 student pouation residing in the area	2017 student pouation commuting to the area	2030 student pouation residing in the area	2030 student pouation commuting to the area	The total number of students in 2030
Number of students in Municipal Council Area	31,929	5,534	26,395	7,169	26,395	33,564
Number of students in Pradeshiya Sabha Area	19,040	30,793	-13,753	41,717	-13,753	27,964
The capacity of the current schools in the Planning Boundary	-	-	*13,759 of students migrate to schools in Municipal Council Area	*here assume 41, 717 students migrate to, schools in Municipal Council Area	-	-
Future demand for schools	-	-	-	-	-	-
The difference in the MC area	1,635	-	-	-	-	-
Difference in MC area	8,924	-	-	-	-	-
Total number of stu- dents	10,559	-	-	-	-	-
Number of schools in MC Area	13	-	-	-	-	-
The need for improv- ing the Municipal Council Schools (Num- ber of students)	1,635	-	-	-	-	-
Number of schools in Pradeshiya Sabha	46	-	-	-	-	-
Need to improve (number of students)	8,924	-	-	-	-	-

Source : Urban Development Authority North Western provincial Office , 2020

Here assume the amount of school going children (between years 5-18) will increase to 10,600 within the planning boundary by 2030. It should provide qualitative education for those children. In order to develop the education level, here hope to upgrade the identified schools through the proposed development plan.

There are 13 schools located within the core town area of Kurunegala. The amount of children who studies those schools, more than six times of school going children within the Kurunegala MC area. The main objective of this plan is to develop the schools which are located proximity to the main roads, instead of the famous schools in core town area. Accordingly, below table 6.7 and map 6.5 illustrates the identified schools to be developed.

Table No. 6.7 - The proposed schools will be developed by 2030

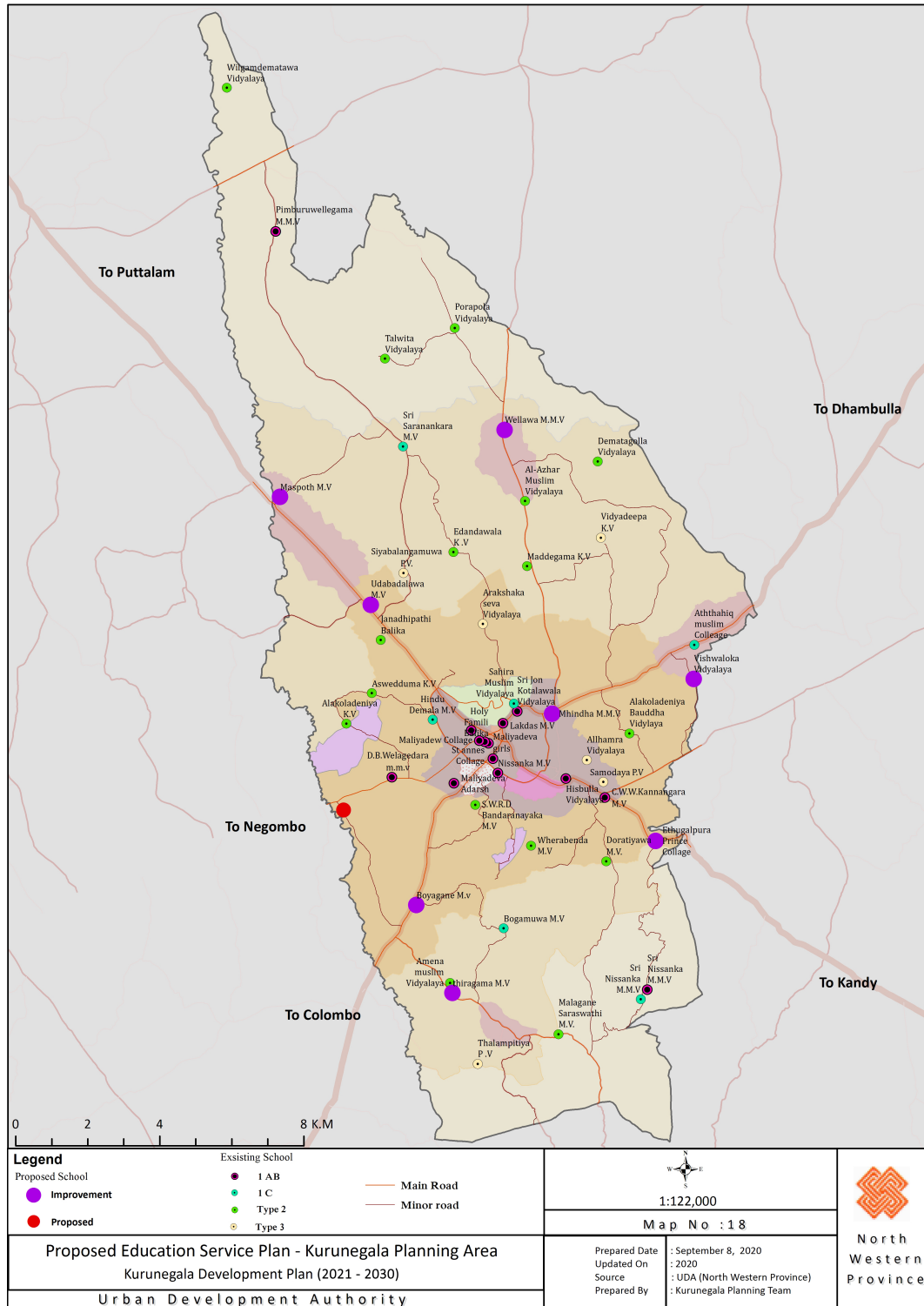
Name of the School	New Con-structions	Upgrading the ex-isting condition
Raththanagalla National School	✓	
Thiragama Central Collage		✓
Mahinda Vidyala - Gettuwana		✓
Sudarshan Maha Vidyalaya - Udabadalawa		✓
Vishwaloka Vidyalaya		✓
Athugalpura Kumara Vidyalaya		✓
Wellawa Maha Vidyalaya		✓
Boyagane Maha Vidyalaya		✓
Maspotha Maha Vidyalaya		✓

Source : Urban Development Authority North Western provincial Office , 2020

It expects to upgrade the schools which are located in peripheral areas (within the Pradeshiya Sabha Area) with introducing all the facilities, similar to the famous schools. With that, they hope to reduce the demand for famous schools in core town area because this is the main course for traffic congestion. So, it may be a solution to traffic jam in future. Especially, the amount of schools is not changing in the MC area and the amount may change in peripheral areas.

The main objective of this plan is to provide educational facilities, according to future expected residential populations' demand. This will achieve through 2030 plan.

Map No. 6.5 - The proposed services plan – Education-2030



Source : Urban Development Authority North Western provincial Office , 2020

6.3.1.3 Health Service Development Plan

The main objective of this plan is to provide quality health facilities to both expected residential population and commuting population by 2030.

There are 26,000 of daily commuting happening with targeting health facilities and it is 8.6% of the total daily commuting population (300,000).

Here assume this amount will increase by 10% by 2030 and expecting 43,000 of commuting population with targeting health facilities from the total daily commuting population (500,000) in 2030.

$$\begin{aligned} \text{Expected commuting population for health facilities} &= 500,000 \times (8.6/100) \\ &43,000 \end{aligned}$$

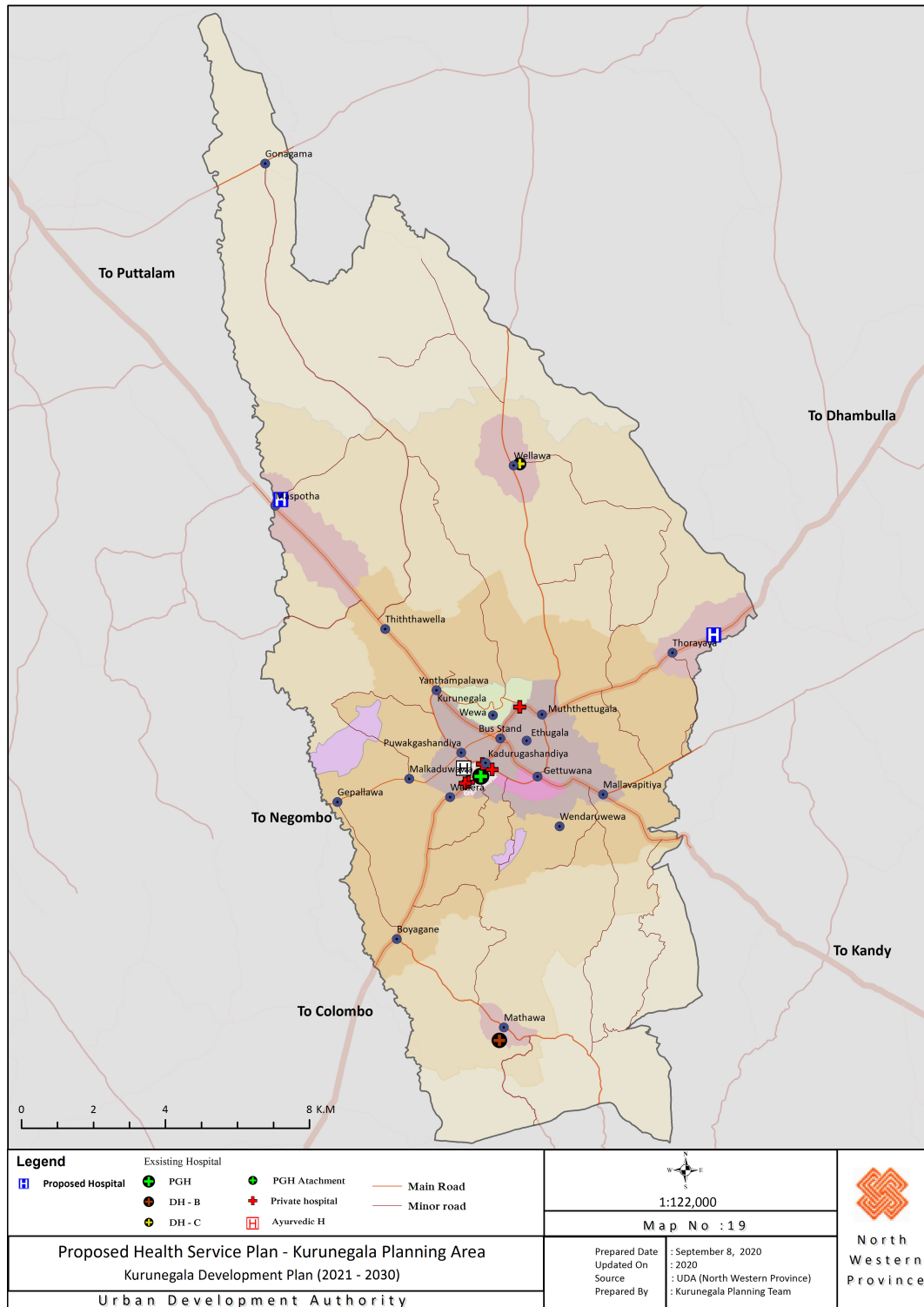
Assuming the expected population as 48,000 for health, hope to increase physical and human facilities in Kurunegala Teaching Hospital. Currently, the majority of buildings are one-storey buildings in Teaching Hospital and this plan will develop those buildings with vertical developments with reaching to the optimal usage of this land.

The Mathawa and Wellawa identified as sub-town centers and the hospitals in those areas will upgrade with proper facilities according to proposed development plan. Further, this development plan highlighted the requirement of the regional hospitals in Maspotha and Kiriwawla areas.

In here develops the Mathawa, Wellawa hospitals as qualitatively and quantitatively with new Facilities (buildings, equipment). The available clinic centers in Maspotha and Kiriwawla areas will upgrade with this proposed development plan (map number 6.6).

The plan also proposes a special health promotion zone for the main hospital and surrounding area in the city of Kurunegala for the efficient maintenance of private sector activities related to health.

Map No. 6.6 - Proposed health development plan



Source : Urban Development Authority North Western provincial Office , 2020

6.3.2 Proposed Transport Plan

6.3.2.0 Introduction

The Kurunegala town has historical evolution because it is a main junction town which connects five main roads each other. Ambepussa – Trincomalee Road, Katugasthota – Puttalam Road, Negombo Road are the main roads which are integrating this town center. As a result of that, Kurunegala town provides the easy access for all the regions in Sri Lanka including, Northern, Eastern, Western and Central. Through there is well connectivity between main road network, the internal roads do not have better connectivity. As a result of that, most of the time people have to travel through core town center via main roads. That creates huge traffic congestion in peak hours.

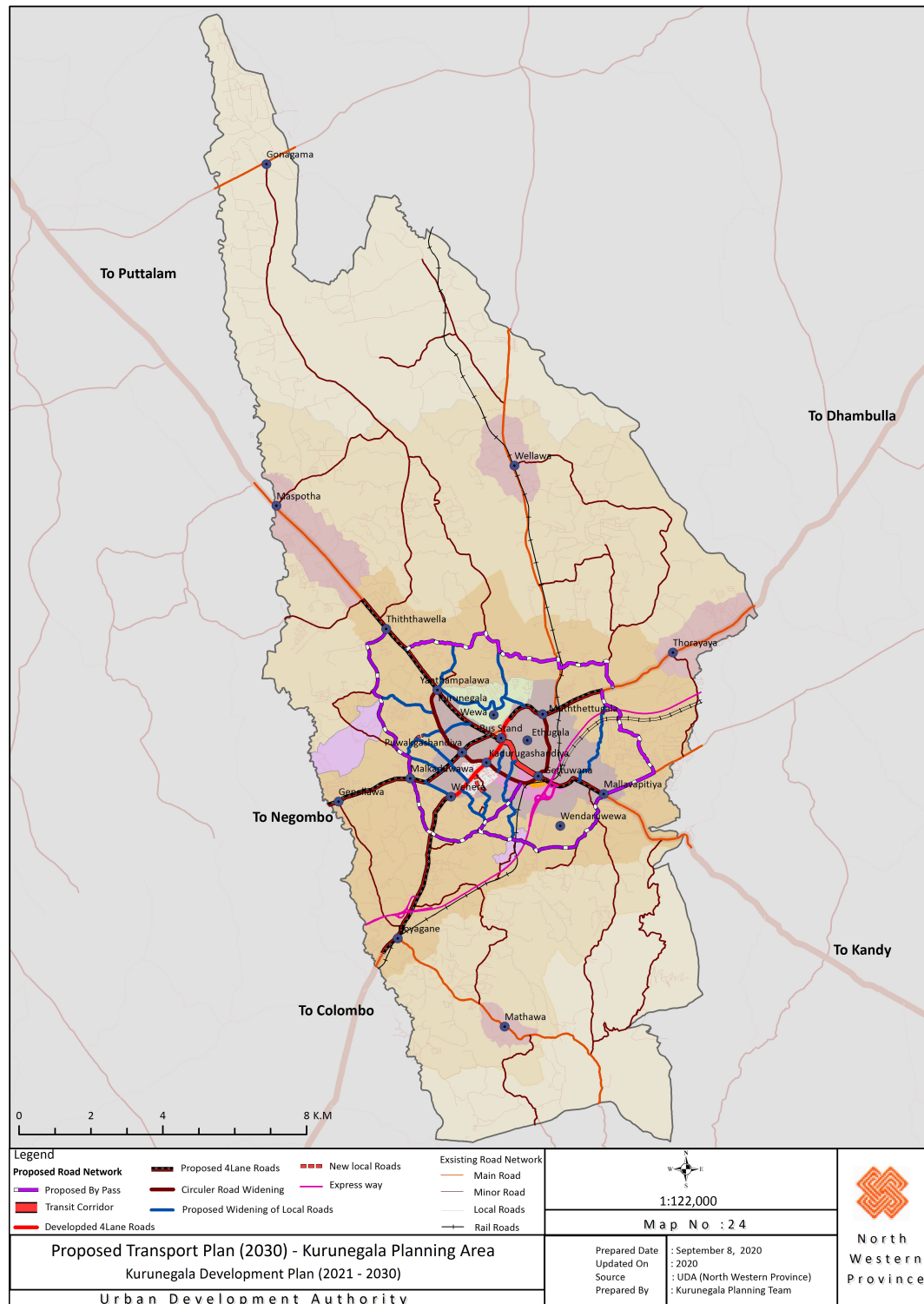
Furthermore, all the administrative and government offices are located in the core town area because this town center is the administrative capital since the kingdoms Era and British Era (ex; Court Complex, Provincial Council, District Secretariat Office, Police station, Urban Council, RDA). The considerable amount of daily commuters come to those offices and create traffic congestion.

The poor connectivity of internal roads course to liner development along the main arteries and helps to traffic congestion. The strategic transport plan hope to introduce alternative road network while upgrading the internal and rural roads.

It can be identified urban stress, urban environmental pollution and disturbances to economic status due to the traffic congestion. This traffic congestion cause to some health problems also. A survey which is conducted by health sectors shows the school going children infects for respiratory diseases due to berathing polluted air more than 8 hours during their school time. The commercial communities also faces to this same incidence.

Get the potentials of main national scale project such as central expressway, railway expansion project Kurunegala to Dambulla and Polgahawela to Kurunegala proposed double line railway, are main strength to develop optimal and efficient transportation system in Kurunegala area. Get the advantages from current and future developments, to create an efficient transport system in Kurunegala town area is the main objective of this proposed transport plan.

Map No. 6.7 - Transport Plan



Source : Urban Development Authority North Western provincial Office , 2020

The above map no 6.7 reflect the transportation plan for 2030 and the following strategies are included

6.3.2.1 Strategy 01 - Developments of outer circular road

(Saragama - Waduragala – Gettuwana and Wilkhawa – Mallawapitiya alternative road.)

(Mallawapitiya – Uyandana – Yaggapitiya and Yaggapitiya – Saragama alternative road.)

Table No. 6.8 - Alternate routes to the Outer Circular road.

Road Name (Starting and End Point)	Road length	New road length	Road width
Saragama to Vaduragala	6.94	2.62	12
Vaduragala to Gettuwana	3.33	2.15	24
Vilbava to Mallawapitiya	4.81	1.05	12
Mallawapitiya to Saragama	4.68	0	15
Yaggapitiya to Saragama	7.76	0	12

Source : Urban Development Authority North Western provincial Office , 2020

The outer circular road is Proposed as represented by the transportation plan (Map no 6.7) and most importantly Vaduragala to Gettuwana part should be developed as the first phase of the Road to achieve the vision of the development plan.

6.3.2.2 Strategy 02

❖ Current railway station land develop as Multimodal Transport Hub. Project Objectives

- Establishment of the transit center in Kurunegala town.
- To make the Kurunegala town as efficient transport hub by integrating the multimode of transportations.
- Minimize the problem of lack of integration between the railway station and bus stand.

This is an opportunity to attract high residential population and commuting population, using the potentials of multimodal transportation hub, which connects highways, railways and normal ways (roads), by enhancing efficiency and easy accessibility. The city's economy can be strengthened through the expansion of the services providing for the community.

❖ **Development of Kandy Road – Gettuwana to town center with six lanes (Transit Corridor).**

There is a huge traffic congestion in A10 road due to the entry and exit of the vehicles through proposed expressway. The distance between the main bus stand and express interchange is about 1km. It is essential to widen the road as a six lane route for making the transport in an efficient, between the expressway interchange and the main bus station. This road provides the main access to the Kurunegala town to Gettuwana, therefore high level of service should be provided.

6.3.2.3 Strategy 03 - Widen the inner regional roads

❖ **Project Objectives**

- Upgrading the residential development in the internal areas of the town.
- Expand the urban developments to internal areas instead of the main roads.
- Development of better connectivity between main roads and internal roads.

It has the ability to increase the movements in the internal town area by widening the roads, developing the underdeveloped roads and connecting the roads. The development around the available main roads can be directed to the internal areas through this project. The residential population also increases by enhancing accessibility.

Accordingly following roads are identified as to be widen in this development plan. The details are included in the project list at chapter no (6.6).

Table 6.9 - Internal routes to be widened.

1. Jayanthipura – Wilkawa Road	9. Kaddawaththa – Alakoladeniya Road
2. Sarvidaya Mawatha	10. Wilgoda Waththa Road
3. Sumanadasa Mawatha	11. Sumangala Mawatha
4. Heenamulla Road	12. Heraliyawala Road
5. Alakoladeniya Road	13. Bandaranayeke Mawatha
6. Wewarauma Road	14. Pubudu Mawatha
7. Sundarapola Road	15. Malkaduwwa circular Road
8. Kuda Galgamuwa Road	16. Kaddawaththa Mawatha

Source : Urban Development Authority North Western provincial Office , 2020

6.3.2.4 Strategy 04 - Expansions of RDA roads

❖ Project Objective

- Minimize the traffic congestion which is occurred both proposed expressway project and existing traffic jam in city center.

Kurunegala Junction is a national level junction and there should be properly connecting the road networks by providing easy/comfortable accessibility. Currently, the road design capacities have exceeded the favorable level and exceeded the level of services also. Therefore, main roads and other connected roads should be expanded according to the requirement.

Table No. 6.10 - RDA routes to be widened.

Road	Part to be widen
AA006 Ambepussa –Kurunegala – Trincomalee Road	Regland estate to Wehera Polaththapitiya to Badagamuwa
AA010 Katugasthota – Kurunegala - Puttalam Road	Mallawapitiya Junction to Thiththawella
B247 Kurunegala – Marammala _ madampe road	Kurunegala to Gepallawa
B 084 inner circular road	Yanthampalawa to Puwakgas Junction – through Katugashandiya to Gettuwana

Source : Road Development Authority , 2018

6.3.2.5 Strategy 5 - Construction of flyover in Muththettugala

The railway crossing in Muththettugala area has to closed about sixty times per day due to the rail track, which crossing the Ambepussa-Trincomalee road (A006). It is real disturbances to comfort travelling. With the development of Gettuwana highway interchange point, the development trend will increase in Muththettugala area. Moreover, the RDA analysis proved that the design capacities may exceed in the roads by the year 2020 and it creates huge traffic congestion. In order to solve those problems this flyover project proposed by this development plan.

6.3.2.6 Strategy 6 – Proposed Vehicle parks

By providing vehicular parking areas for high dense commercial development, hope to reduce available traffic situations which are occurring due to vehicle parking on either side of the roads. It may lead to efficient functionality of the city.

- Establish vehicle parking points.

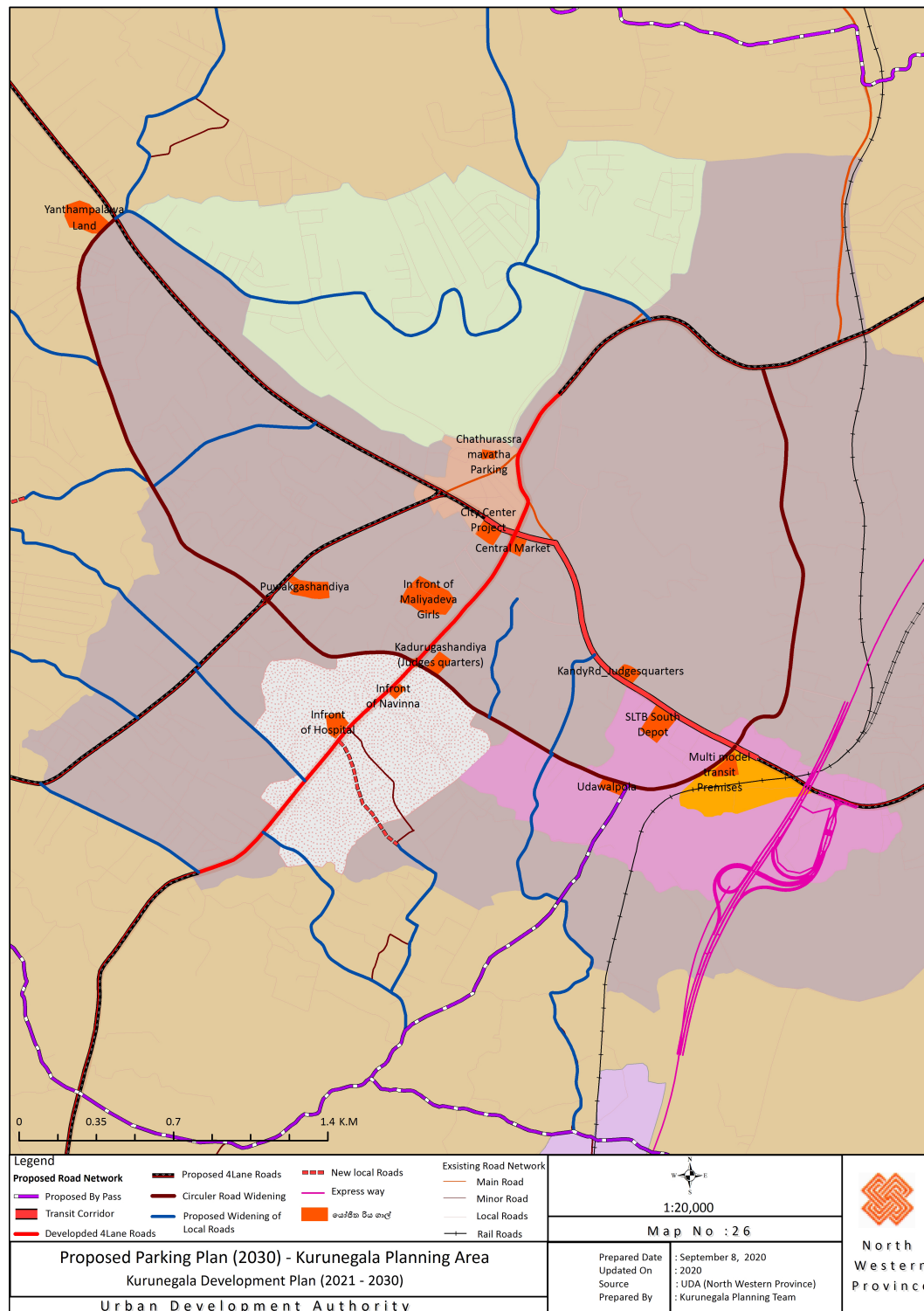
Reducing traffic congestion caused by parking on both sides of roads in the city center and making it an efficient city by providing parking spaces required for high density commercial development.

- Establishment of separate vehicular parks for private busses and hiring vehicles (The identified places for parkings reflect in Map 6.8). These identified locations are intended to be implemented as mixed development projects with public parking lots.

Vehicular parks for vehicles

1. Multi-storey parking building at town center
2. Central Market area
3. Parking area near to Multimode Transport Hub
4. Udawalpola (Outer Circuler by pass joining place)
5. Kadurugas Handiya, Kandy road (Judge quarters)
6. In front of Nawinna Hospital
7. In front of Teaching Hospital
8. In front of devotional secretariat offices –Pawakgas Handiya
9. Proposed parking plot in 'square mavatha'
10. Land belongs to Southern Deport (separated for Private busses)
11. Land of Yanthampalawa (separated for Private busses)
12. Abndond paddy in front of Maliyadewa Girls

Map No. 6.8 - Identified areas for vehicular parking



Source : Urban Development Authority North Western provincial Office , 2020

6.3.2.7 Expected Objectives of Transport Plan

Easy accessibility is the main potential for future development and it accelerates the quality of the developments also. The Kurunegala town identified as, the main town center, which is located in the Eastern – Western Economic Corridor by the National Physical Planning Policy and the Plan- 2030. The development of transport facilities with parallel to future developments is an essential factor.

One of the main objectives of this proposed transport plan is to provide comfort and convenience transportation for the community, because there are two interchange points of the central expressway locate in the Kurunegala area

Here expecting to develop the structure of the current town center and stronger the economic base of the Kurunegala town, through the developments of the 'Transit Oriented Hub' which is proposed in the Gettuwana interchange area. This may lead to achieving the vision of 'The Emerging Wyamba Metropolis Encircling Ethugala' in this proposed development plan.

The proposed alternative road network leads to attract more development opportunities for underdeveloped areas. This will provide effective opportunities to develop commercial activities as well as residential usage in and surrounded the core town area. It has a chance to change the land uses with value addition in those areas by circular road networks and the road widening projects.

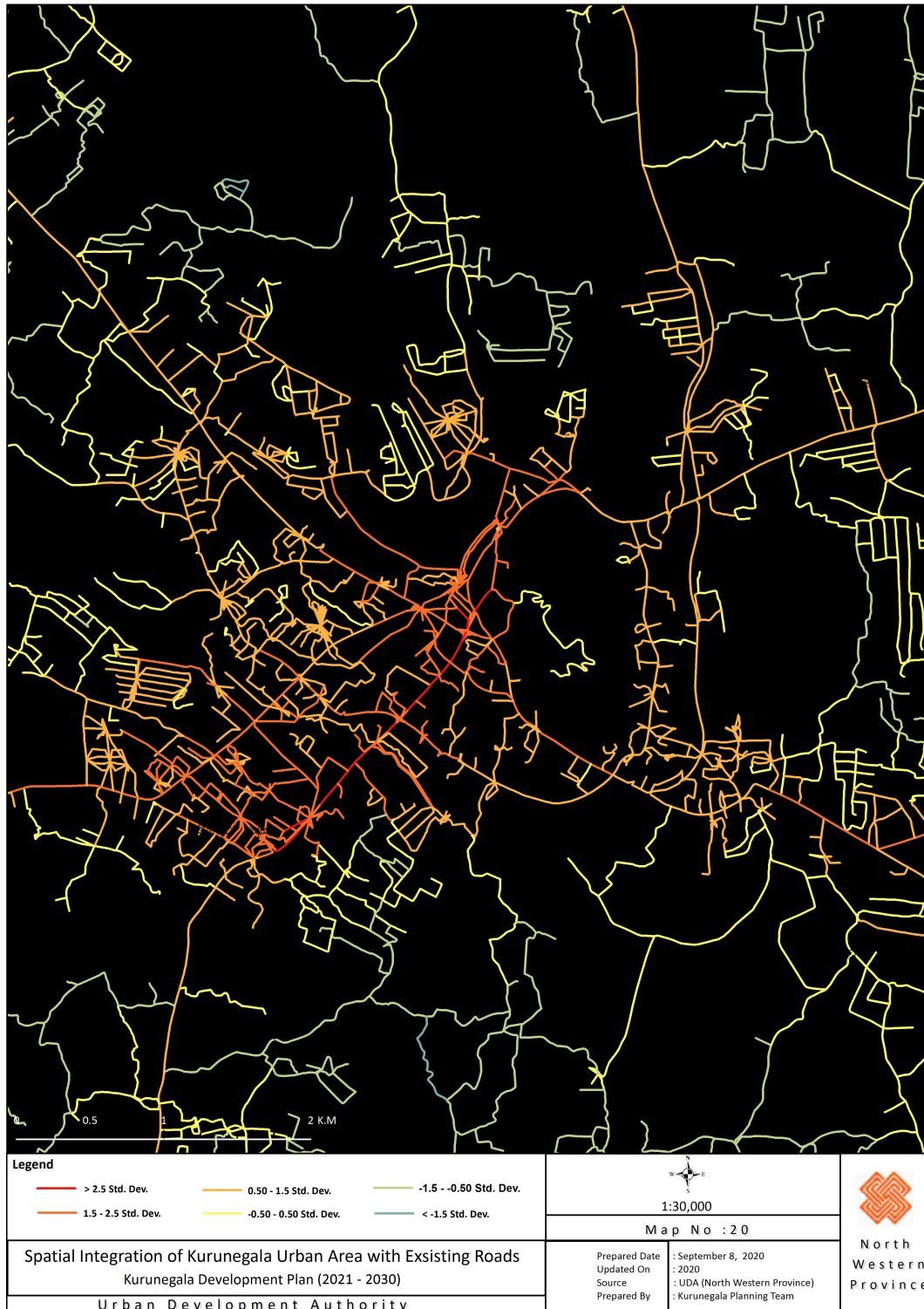
A road segment of Gettuwana to the town center (in Kandy road) develops with six lanes by enhancing to economic development via integration of 'Transit Corridor'. With the proposed development in Gettuwana – Muththettugala areas, it will be identified a traffic congestion around the Muththettugala railway crossing. The proposed Muththettugala flyover is a best solution to reduce traffic, which may occur in this area.

It has to spend more than 45 minutes to pass the town center during the peak hours. But after implementing all the proposed strategic projects, hope to reduce the traveling time as 15 minutes.

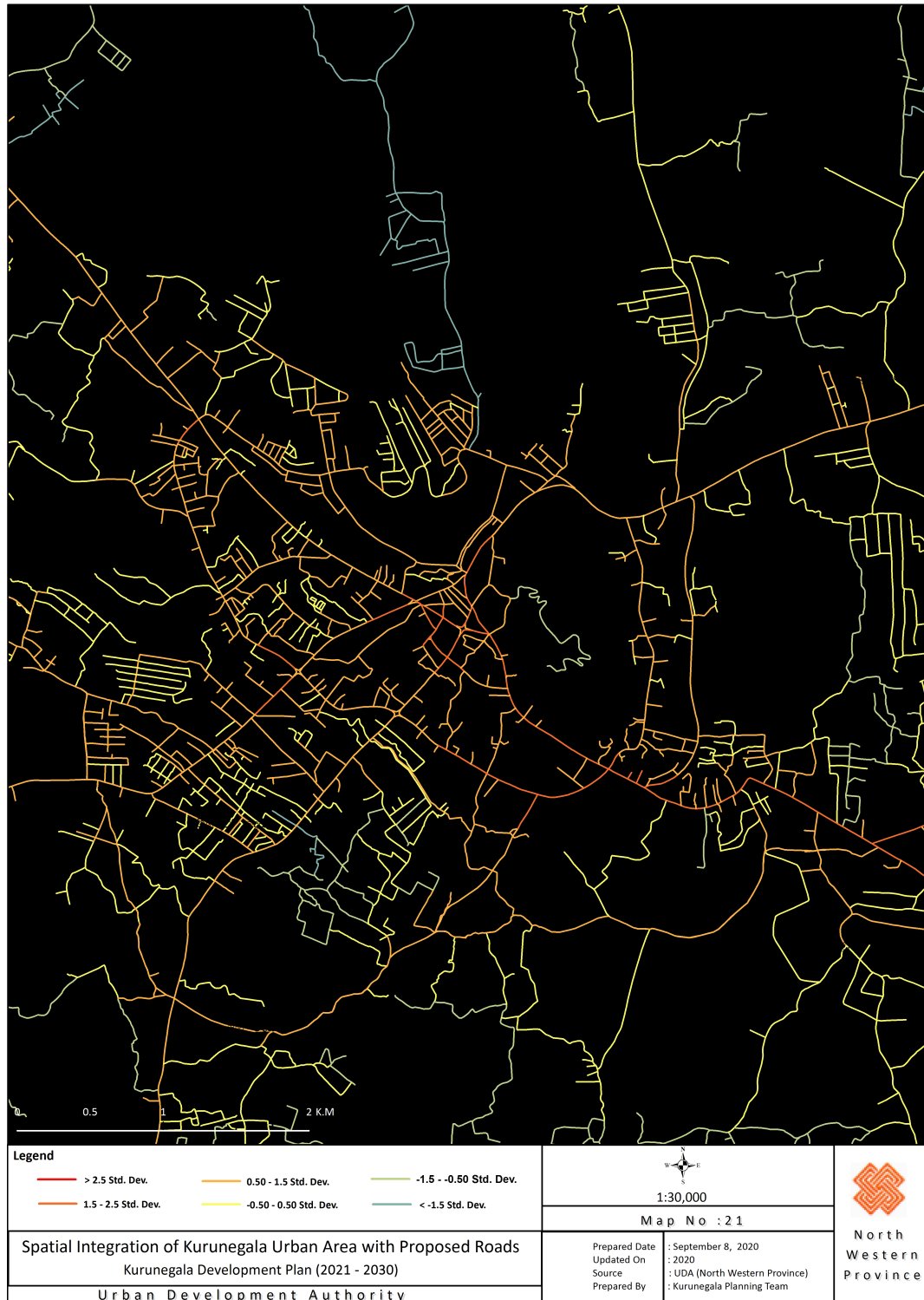
With the development of central expressway and alternative road network, this Kurunegala town act as a distribution center for goods which comes from northern areas. The higher accessibility factor helps to establish tertiary education centers in this town. Apart from that, it has the opportunity to establish Industrial Zones, with getting the potential of distribution center and collecting center of goods, from several directions (Northern, Southern, Eastern, Western) in Sri Lanka. It can lead to economic diversification as a main economic center, which is located in Eastern – Western Economic Corridor

Space syntax analysis illustrates the difference between existing road network and the proposed road network from this development plan. Here clearly shows, the proposed road network is a better solution for available issues including traffic congestion. Accordingly, the proposed alternative roads of Saragama to Malkaduwwa, Wanduragala to Gettuwana, Wilbawa to Mallawapitiya identified as most appropriate alternatives. (Map no 6.9 and 6.10)

Map No. 6.9 - Space Syntax Analysis for existing roads



Source : Urban Development Authority North Western provincial Office , 2020

Map No. 6.10 - Space Syntax Analysis for proposed roads

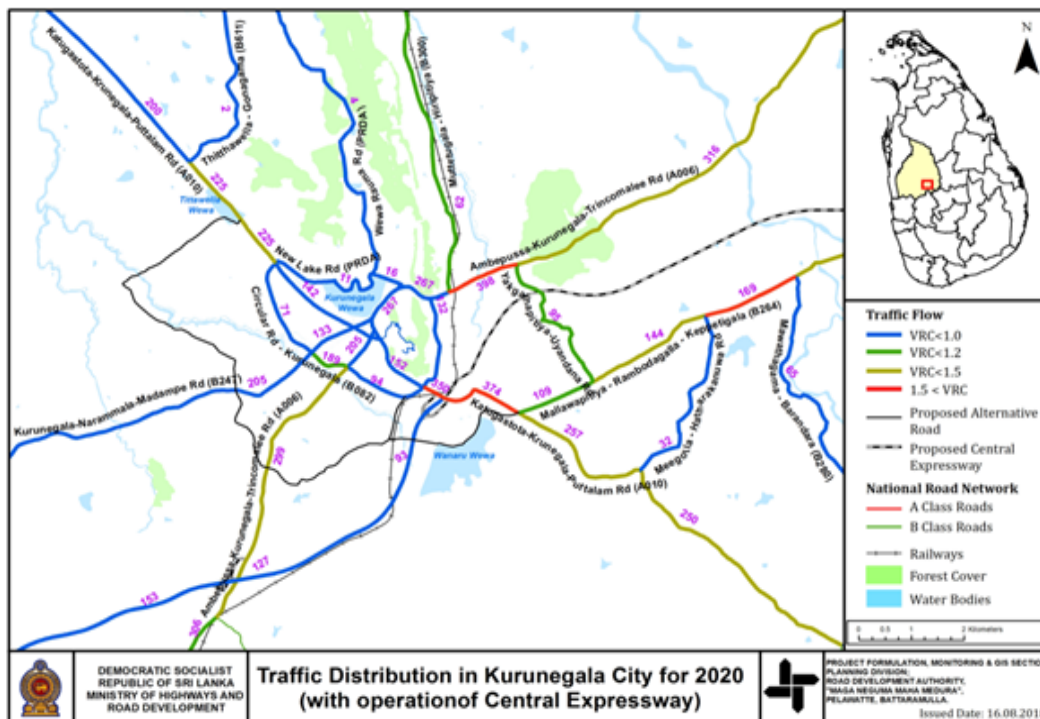
Source : Urban Development Authority North Western provincial Office , 2020

This Space Syntax analysis shows the nature of activities and traffic with the propose roads of Saragama to Malkaduwawa, Waduragala to Gettuwana, Wilbawa to Mallawapitiya.

The road design capacity of the main road will exceed by 2030 with the proposed central expressway and alternative road network. The red color segments of the below maps show the areas which exceed the road design capacity in the year 2020 and 2030 (Figure 6.3 & 6.4). According to that, the road widen projects are planning to implement with this proposed transport plan. Here expects to increase the accessibility and the road capacities while reducing traffic congestion.

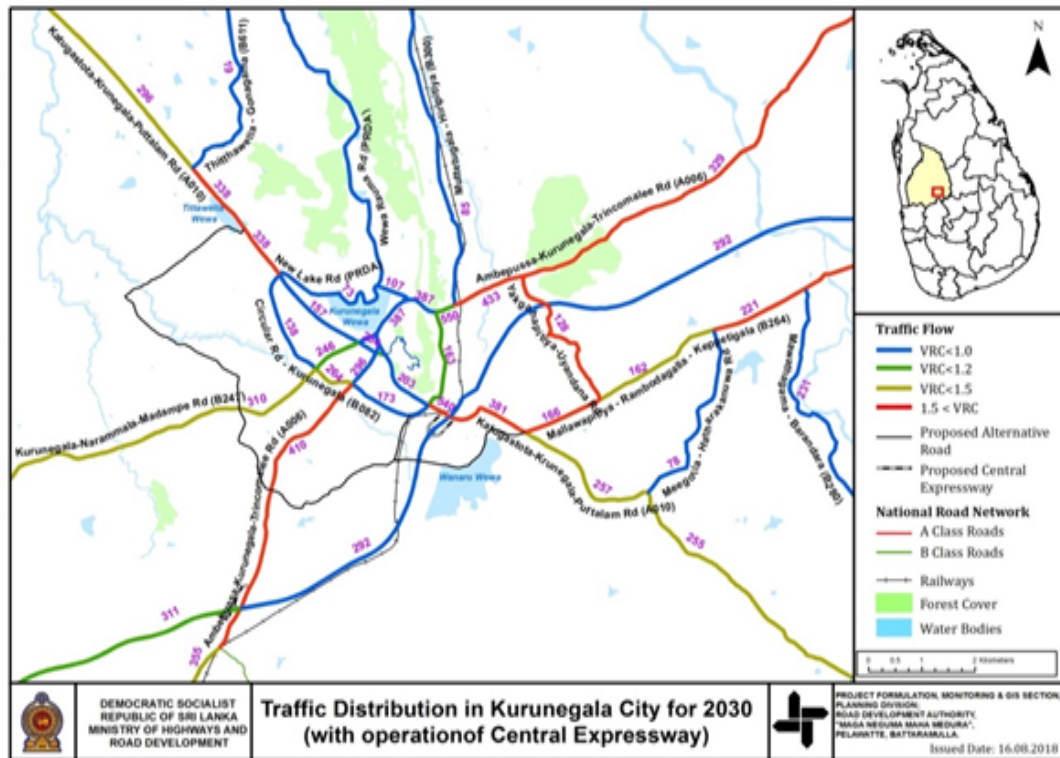
- AA006 Ambepussa – Trincomalee Road
 - Danbokka to Kurundugas Junction
 - Muththettugala to Pradeshiya Sabha Boundary.
- AA019 Katugasthota – Kurunegala Road
 - Gettuwana Junction to Mallawapitiya Junction.
 - Yanthampalawa Junction to Thiththa Wella
- B 264 Mallawapitiya – Rambodagalla Road
 - Mallawapitiya to Uyandana

Figure 6.3 - Design capacities of the roads with proposed expressways and alternative road by 2021



Source : Road Development Authority , 2018

Figure 6.4 - Design capacities of the roads with proposed expressways and alternative road by 2030



Source : Road Development Authority , 2018

6.3.3 Water Supply Plan

6.3.3.0 Introduction

It is essential to fulfill the future water requirement for the estimated 250,000 of residential population, 500,000 of the daily commuting population (people who come with targeting education, health, commercial, administrative) and for the strategic projects which plan by the Development Plan for 2030. After studying the proposed water supply projects by the Water Supply and Drainage Board, identify the required project which has to implement to fulfill the future requirements. This section describes the water supply plan with the proposed developments by 2030.

Table No. 6.11 - Daily Water Requirement – 2030

Zone	Residential population	Residential Water Requirement (m3)	Commercial Water Requirement (m3)	institutional Water Requirement (m3)	Total Water Requirement (m3)
Special commercial zone	31	Spacial allocations			500
lake tourism and exclusive residential area	383	57.41	15% - 19	5% - 383	459
health and medicare zone	227	33.98	15% - 11	5% - 227	272
Special development zone	242	36.32	15% - 12	5% - 242	291
Mix development Zone	5661	849.20	15% - 283	5% - 5661	6794
Mix development Zone 2	10232	1534.82	15% - 512	5% - 10232	12279
Industrial Zone	307	61.46	15% - 15	5% - 307	384
Mix Residential Zone	6516	325.79	5% - 195	3% - 6516	7037
Mix development Hinterland zone	1035	51.75	5% - 31	3% - 1035	1118
Low density residential zone	3016	150.81	5% - 90	3% - 3016	3258
Water requirement for special projects					5000
Water requirement for total planning area (m3)					37390

Source : Urban Development Authority North Western provincial Office , 2020

Assumption:

120 liters of water required for a person in high dense populated areas (more than 1500 person per square kilometer) and 100 liters of water required for a person in low dense populated areas (less than 1500 person per square kilometer). The water requirement for future proposed development projects also included in this estimation

Below table 6.12 illustrates the proposed water supply projects for 2030 by the Water Supply and Drainage Board (table 6.12 and map number 6.13). Those projects will cover whole the planning boundary

Table No. 6.12 - Proposed Water Supply Projects – 2030.

Water supply scheme	Water supply for 2030 (m3)	Coverage Area
Alawwa, Polgahawela Water supply scheme	4,639	10 G.N D in Kurunegala 16 G.N D in Mallawapitiya
Wanduru Pinu Ella Water supply scheme	5,024	16 G.N D in Kurunegala 21 G.N D in Mallawapitiya
Katupotha Bamunu Kotuwa Water supply scheme	4500	30 G.N D in Maspotha
Greater Kurunegala Water supply scheme (ongoing project)	14,000	26 G.N D in Kurunegala 10 G.N D in Mallawapitiya 04 G.N D in Maspotha
Total	28,163	

Source : National Water Supply and Drainage Board - 2020

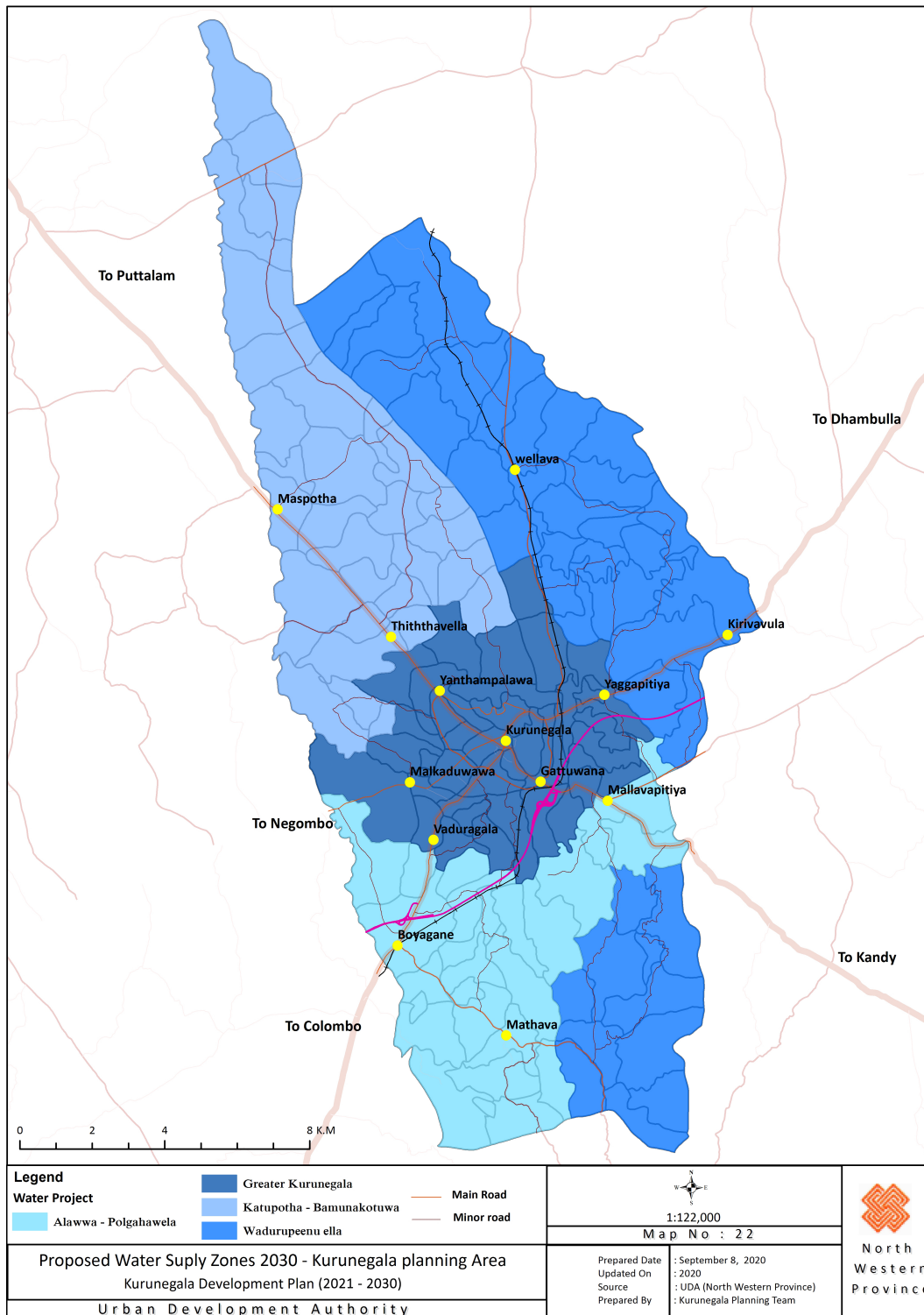
The water supply and Drainage Board hope to supply 28,163 of cubic meters of water for 2030. But the estimated water requirement is 37,400 cubic meters. There seems shortage of water amount 9237 cubic meters. The proposed Wanduru Pinu Ella water supply project has the capacity to fill that shortage and, this plan recommends the importance of implementing this project.

As a timely water source, the Deduru Oya has the capacity to store water during the rainy seasons by making water storage systems. The water storage tank in Barandana - Reskuru reservoir and Wanduru Pinu Ella reservoir projects need to be implemented with this proposed development plan.

6.3.3.1 Proposed Water Supply Strategies

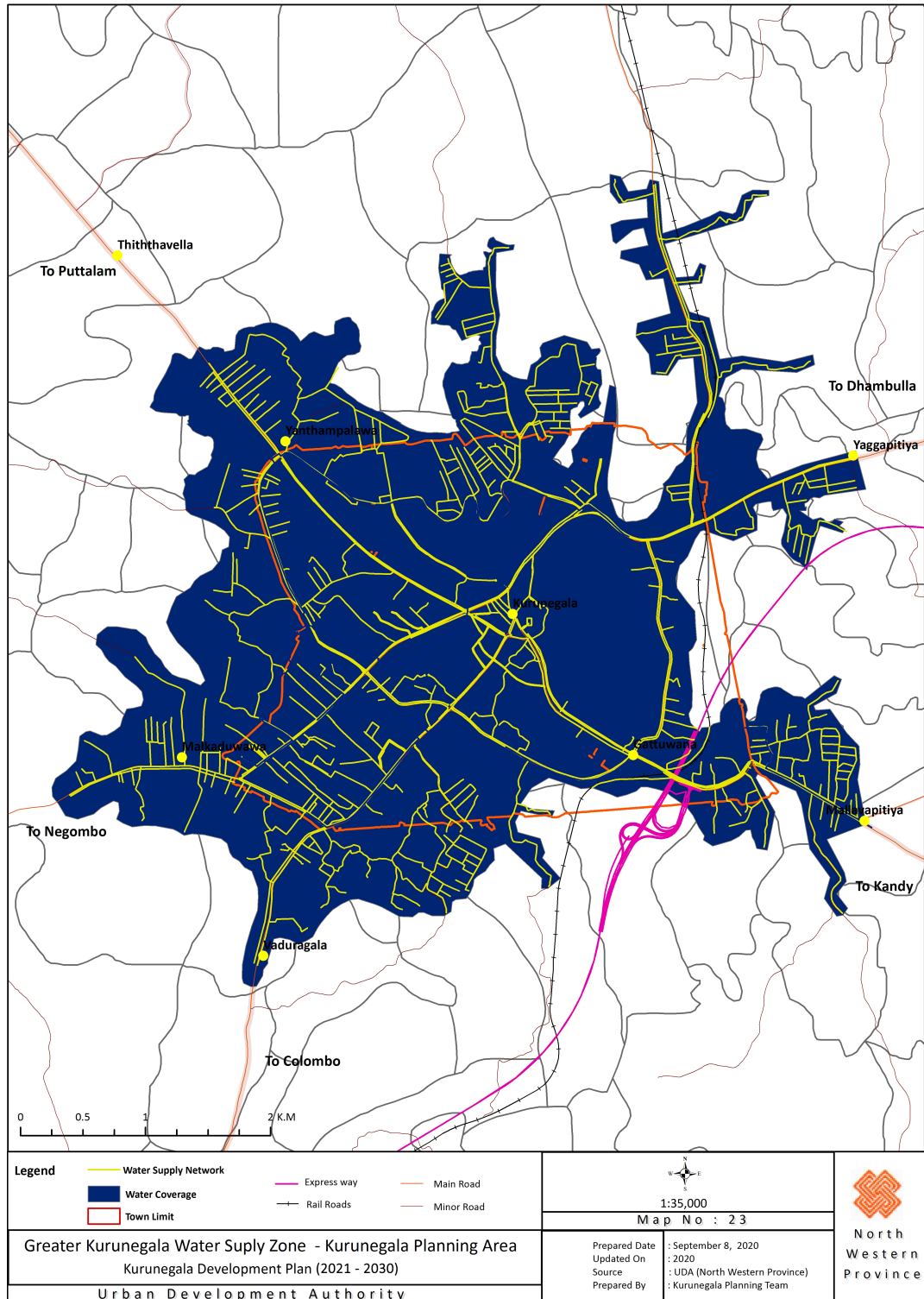
1. Construction of the Barandana - Reskuru reservoir, crossing the Deduru Oya by the project of Greater- Kurunegala water supply scheme and sanitary project. This will help to increase the water supply capacity in future.
2. Construction of Wanduru Pinu Ella Reservoir - This project covers 50% of the area of the Divisional Secretariat area, Kurunegala. This project has the capacity to provide Pipe borne water requirement in 2030. The expansion of deriving boundaries of this reservoir project is an essential requirement to achieve future water expectations.

Map No. 6.11 - Propose water supply projects for 2030



Source : Urban Development Authority North Western provincial Office , 2020

Map No. 6.12 - Covered Area by Greater- Kurunegala Water Supply Scheme and Sanitary Project



Source : Urban Development Authority North Western provincial Office , 2020

6.3.4 Proposed Drainage Plan

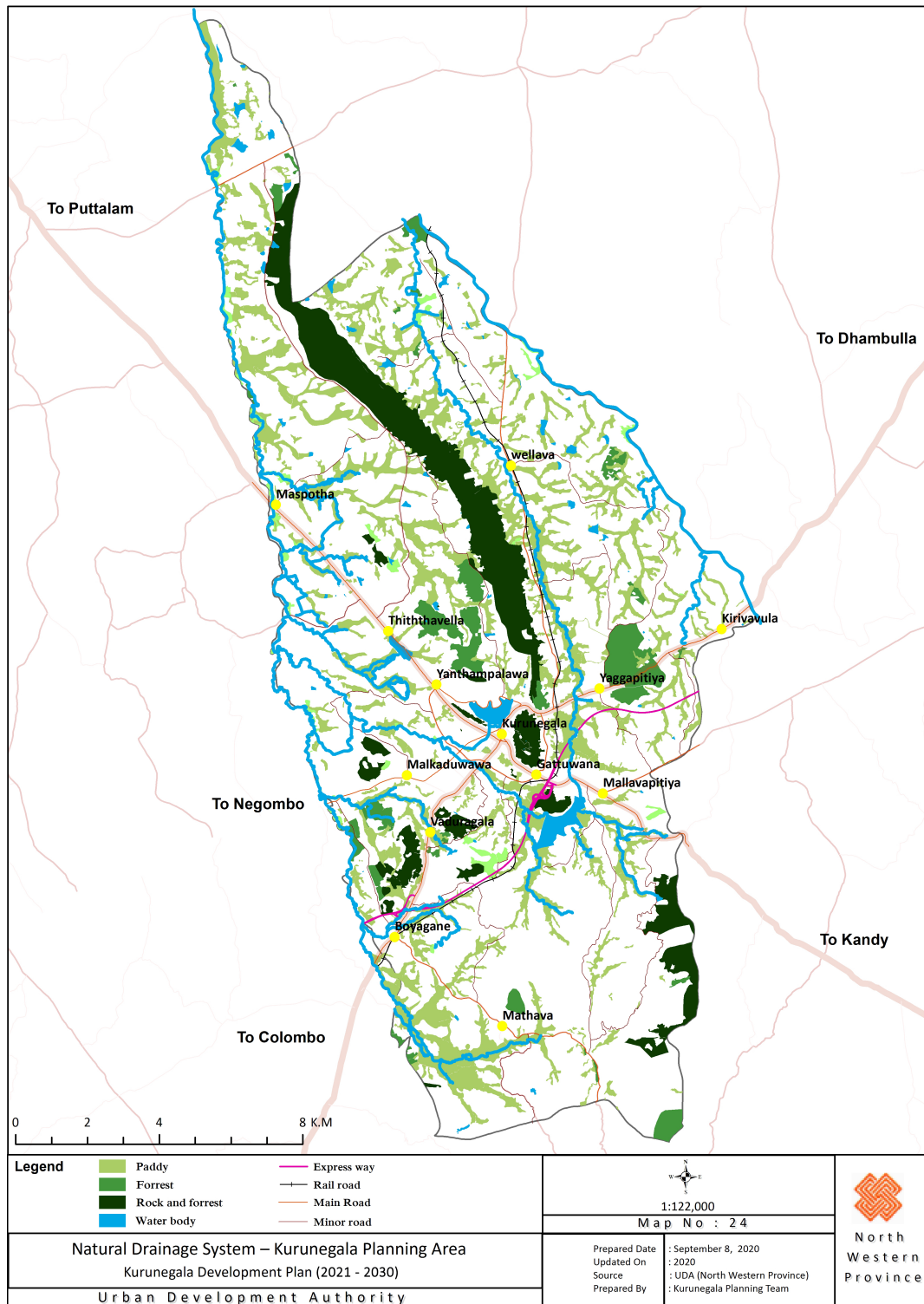
6.3.4.0 Introduction

The natural factors (soil erosion, growing forests) and human activities (cultivations, reclamation of marshlands and paddy lands) cause to change available natural drainage system in Kurunegala area. The main objective of this plan is, to reduce the negative impacts for available natural drainage system and introduce a proper drainage system with the future requirement.

All the wastewater and stormwater in Kurunegala town, flows to the Buu Ela and Wan Ela through the internal drainage network. The water which flows through those two canals stores in a Wilgoda sluice and 230 acres of paddy lands are cultivated in low lying areas, from those stored water. Apart from that, the rainwater which flows from water catchment areas (Ethugala, Andagala, Ebbagala, Elugala, Endulgoda Kanda) store at Wedaru Wewa, Tenpana Reservoir, and Kurunegala Wewa. Additional water flows to lower areas through paddy fields and there is no disturbance to development activities in town areas, from flowing water. (Map No 6.13)

The temporary flash flood situation can identify in Wilgoda areas during the heavy rains, because of the improper constructions and narrow canals system. Apart from that, some of the areas within the divisional secretariat area also face to flash floods. Block the drainage due to irregular constructions, illegal land reclamations and less capacity of available covets is main reasons to flash floods during the heavy rainy seasons. The central expressway constructs crossing the low laying lands in Wedaruwa area and floods may occurred in future. It should be introduce a proper drainage plan by the Sri Lanka Land Reclamation & Development Corporation and this development plan also highlight this requirement with the upcoming developments.

There are disturbances to natural water flow in Buu Ela and Wan Ela by filling the banks due to soil erosion. This canal was constructed in 1996 and proper renovation has not been done after the constructions. It is hard to clean these canals because of the poor maintenance. The Wilgoda anicut also not in proper condition and need to be done proper reconstructions. It cannot be cultivated 230 acre of lands due to dilapidated anicut.

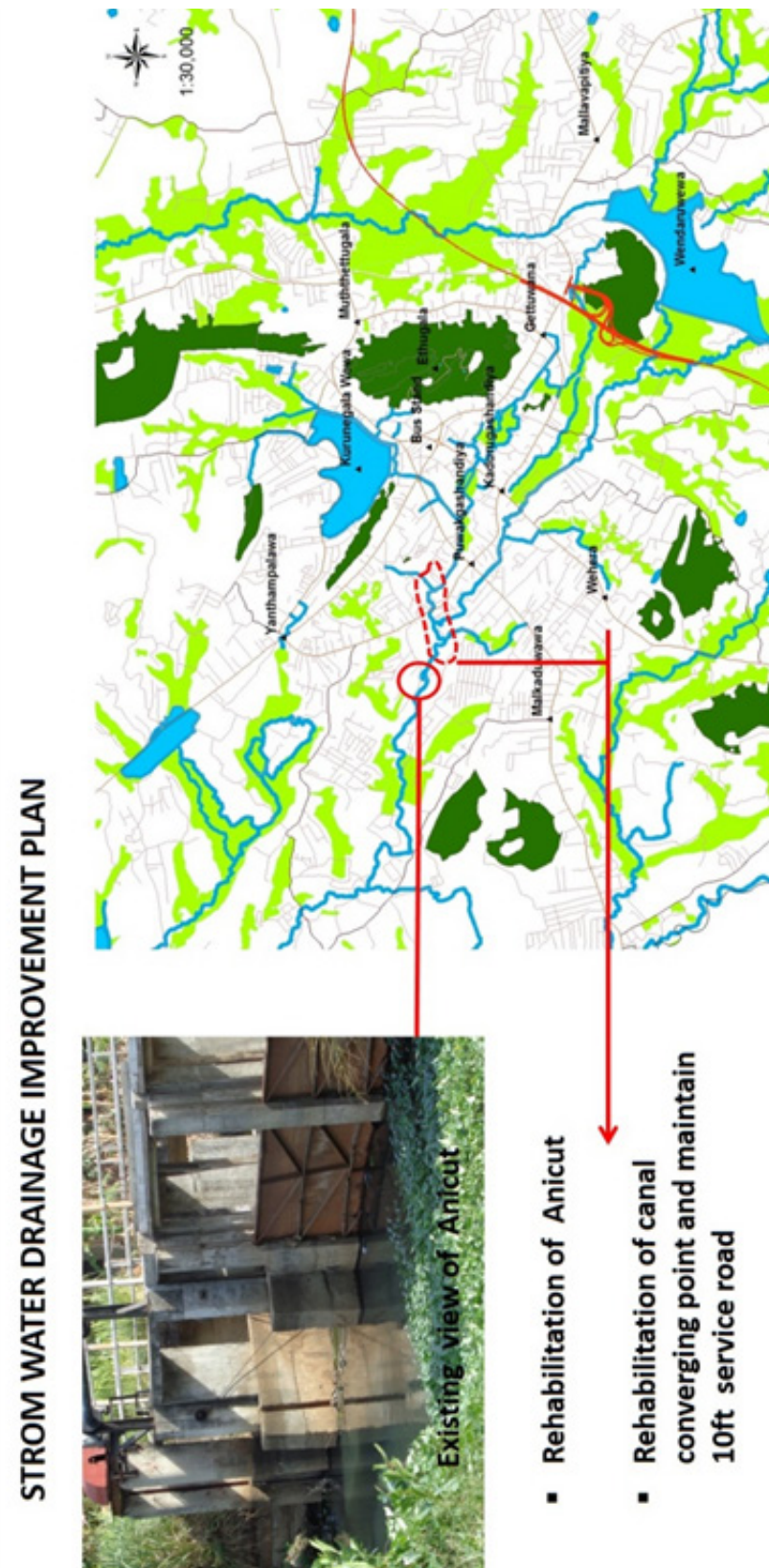
Map No. 6.13 - Natural Drainage Pattern - Kurunegala

Source : Urban Development Authority North Western provincial Office , 2019

6.3.4.1 Proposed Drainage Strategies

1. Design a proper drainage plan by the specialized professional with the support of Sri Lanka Land Reclamation & Development Corporation.
 2. Apart from that, hope to implement below strategies also,
 - c. Widen the canal in Wilgoda area to discharge water in proper manner with reducing the available corkscrew shape.
 - d. Designing gates for opening the Wilgoda sluice during the heavy rains.
 - e. Stop the reclamation of water retention lands (paddy and marshlands).
 - f. Preserving the existing channels while enhancing the maintenances.
- (Map no 6.5)

Figure 6.5 - Proposed Drainage projects



Source : Urban Development Authority North Western provincial Office , 2020

6.3.5 Proposed Sewerage Plan

6.3.5.0 Introduction

It is proposed to develop high density commercial areas and residential areas in order to reach the goal of the blooming economic center. According to that, it is important to implement a Sewerage Management Plan with the proposed high density developments. This plan hopes to introduce a proper sewerage plan with treatment plants to cover the high dense urbanized zone and suburban zones.

Table No. 6.13 - The need of discharge wastewater

Area	Waste water m3
Special commercial zone	400
lake tourism and exclusive residential area	367
health and medicare zone	217
Special development zone	232
Mix development Zone	5435
Mix development Zone 2	9823
Industrial Zone	307
Special Project	4000
Total Requirement	20772

Source : Urban Development Authority North Western provincial Office , 2020

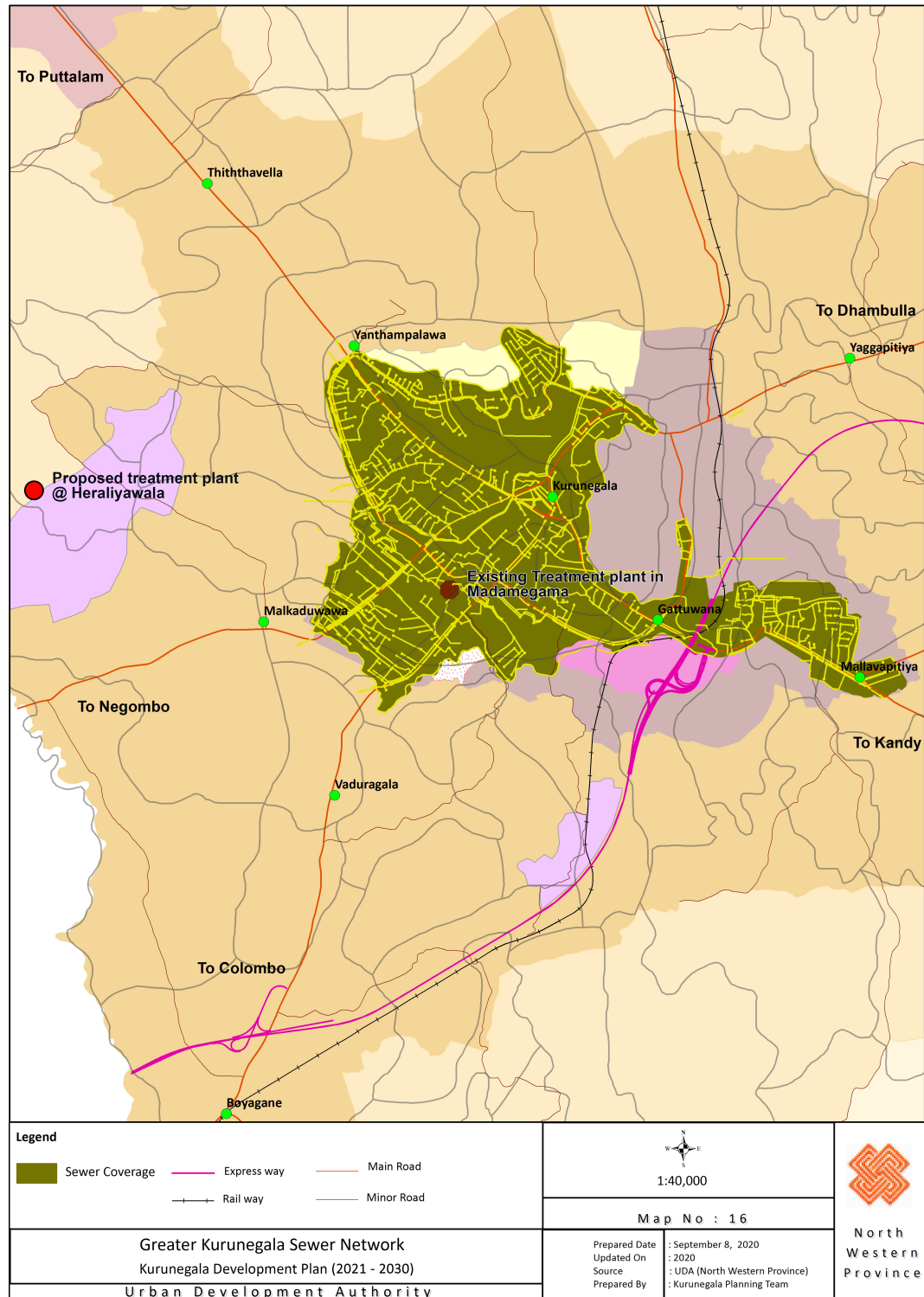
The proposed Greater- Kurunegala Water Supply Scheme and Sanitary Project in 2017 estimate to provide a sewerage network, which covers the MC Area including 43,000 of the beneficiaries. According to that, the current capacity of the treatment plan is 4,500 cubic meters and it has a capacity to increase that up to 18,000 cubic meters.

The National Water Supply and Drainage Board already acquired a 13 acres of land to establish a sewerage treatment plant in Malkaduwawa area and it has the capacity to expand that project by 2030. The community encouraged to maintain a wastewater tank and the septic tank in their own lands for other zones, because those land plots have enough spaces.

6.3.5.1 Proposed strategies for waste water Discharge

The construction of sewerage treatment plant in Herealiyavala area and expanding the sewerage network as covers the mix development Zone 01 and mix development Zone 02. (Map No 6.14)

Map No. 6.14 - Covered Area by Greater- Kurunegala Water Supply Scheme and Sanitary Project



Source : Urban Development Authority North Western provincial Office , 2020

6.3.6 Proposed Solid Waste Management Plan

6.3.6.0 Introduction

The requirement of a proper Solid Waste Management Plan is a timely need with expecting 250,000 of residential population and 500,000 of the commuting population by 2030.

6.3.6.1 Proposed Plan

Here estimates 88 tons of waste generates by the residential community and it is 48tons by commenting population by the year 2030. So, the total waste generation is about 137 tons per day by the year 2030.

The existing solid waste collecting area has to be expanded by 2030, to cover the High Dense Urbanized area with is included MC Area and the part of the pradeshiya shaba area. The relative increasing amount of solid waste due to residential population and commuting population in 2030, should have to disposal by the Urban Council to the Sundarapola Waste Management Center.

It is proposed to establish four waste collection centers in Mathawa, Maspotha, Thomrayaya and Wellawa areas to collect garbage which generates from external zones and the peripheral zones. In here proposed to implement source separation of waste, before dispersing to the Sundarapola Waste Management Center.

There is another proposal to increase the organic fertilizer production by 20%, using the organic waste which collects from urban areas. Because 64% of the waste is organic, from the total waste generation. The ministry of the local government has already established a machine from Japan to produce organic fertilizer.

It is plan to implement number of projects by 2030 such as, Town Center Development Project, new town development project, proposed Multimodal Transport Hub, Industrial Zone expansion project in Heraliyawela, IT based Villages, Industries and Goods Promoting Center, Regeneration of Public Market, Technical Research and Development Center and development of five star hotel in Badagamuwa area. The amount of solid waste generation from those development projects included to the total generation of 137 tons (summation of amount of residential waste generation and commuting population generation).

The responsive organizations such as the Kurunegala Municipal Council, Pradeshiya Sabha and the community should have to implement some strategies to reduce the waste generation. It is the main responsibility of the above mention responsive organizations. Below explain the strategies which are introduced by the Solid Waste Management Plan.

6.3.6.2. Proposed solid waste management strategies.

Strategy 1 – Reduce the generation of solid waste.

It is introduce some methods to reduce solid waste generation, in the sectors of Domestic, Commercial and Industrial.

1. Conducting the awareness programmes in common places and schools, about the solid waste reduction methods such as 10R concept.

Strategy 2 – Source separation of solid waste.

Example : Keep the bins with a different color code to collect the waste based on the nature of the waste, which is generated from Domestic, Commercial and Industrial sectors.

- a. Green Color – For organic waste
 - b. Blue Color – For paper waste
 - c. Orange Color – For plastic waste
 - d. Brown Color – For metals
 - e. Red Color – For glass
1. Conducting awareness programs about solid waste management by local authorities, for residential and commercial institutions.
 - b. The solid waste which causes to biodegradation (biodegradable waste) should not mix with recyclable waste.
 - c. Intruding collecting methods for non-separation waste through awareness programs and educational programme.

Strategy 3 – Promotion of compost production using the places which generate low amount of biodegradable waste. To introduce profitable markets for organic fertilizer (composts) for encourage the community.

1. Composting the biodegradable solid waste at the point of origins of domestics and institutions.
 - a. Ex.: Compost bins, Pit methods, Traditional 'Jeewakotu' method
2. Solutions for large scale biodegradable waste generation places
 - a. Ex : collecting the biodegradable waste from hotels, hospitals and non-composting residential, to generate composts using technological methods.
3. To encourage produce composts in each residential unit, using compost bins or a convenience method. This will helps to develop organic vegetable market and domestic vegetable / fruit plantations.

Strategy 4 – Establishment of bio gas generation centers in hospitals and government institutions.

- It can use types of biodegradable waste such as food items, agricultural waste to produce biogas and it is useful for cooking and lighting.

Strategy 5 - Introducing a program to supply biodegradable food items for pig farms.

Strategy 6 - Use of suitable technical methods for disposal of non-bio-degradable (recyclable) solid waste.

1. Conducting the workshops for community to promote the key concepts of 'Reuse'. (At school and institutional level)
2. Establishment of solid waste buying centers (glass, paper, metals) while promoting and encouragement of the market and entrepreneurs.
3. The local authorities can registers the byers who collect solid waste, keep connections with them regularly and provide information to the public.
4. Introduction of the concept of garbage fair, for the waste such as coconut shells, iron, plastics and electrical equipment.

Strategy 7 - To establishment of an institutional structure, to prevention of mixing clinical solid waste (released by hospitals) and municipal solid waste.

1. Compulsory the separation of clinical solid waste which release by the hospitals.
2. Compulsory to check the clinical solid waste before disposal, whether it contains non-polluting substances.
3. Establishment of a proper mechanism inside the hospitals, to discharge clinical solid waste.

Strategy 8 – Efficient the system of solid waste collection and transportation.

1. Collection of solid waste from every individual household by local authorities.
2. To provide a timetable for the community by local authorities, to show the days and the collecting type of waste (Plastic, coconut shells, glass).
3. Ring a "bell" when comes the vehicle for solid waste collection.
4. Providing required equipment and facilities for local authorities to implement compost yards.

5. Keeps separate sections in the vehicle which collect solid waste.
6. Use 'Hand Carts' in the places which cannot reach to the heavy vehicles to collect solid waste.

Strategy 9 - Establishment of sanitary landfilling locations.

- It can use the waste, which cannot be used for the biological and recycling process, non-degradable waste and other types of waste for landfilling. But it is not a practical situation by establishing sanitary landfilling for local authorities, according to their financial capabilities. Because of that, it may be implemented when combined with other local authorities in Sri Lanka.

Strategy 10 – To establish a centers to collect E- waste.

- The E-waste such as discarded computers, keyboards, televisions and mobile phones should not be discharged with the municipal solid waste. Those types should collect and store separately to deliver for registered buyers in Central Environmental Authority.

Strategy 11 - Establishment of monitoring and post-investigation committee.

- The establishment of monitoring and post-investigation committee using the officers in related respective institutions.

6.3.6.3 Proposed Strategic Actions

1. Preparation of the garbage management center in Sundarapola area, in order to minimize environmental problems.
 - a. The waste disposal site separate from the residential zones, using the topological strategies – Tree plantation to creating a barrier zone.
 - a. The structure of the garbage dumping site set up as minimizing environmental problems, in order to make it an effective place.
 - a. Identify the need to remove the existing garbage heap and send it to a main waste recycling center or take appropriate action.
2. Establishment of for solid waste collection centers in several areas.
 - a. Mathawa
 - a. Maspotha
 - a. Thorayaya
 - a. Wellawa

6.4 Proposed Economic Development Plan

6.4.0 Introduction

"The Emerging Wyamba Metropolis Encircling Ethugala" is the vision of this proposed development plan. It is expected to be developed the Kurunegala town as a main economic center and strategic township, which is located in the Eastern – Western Economic Corridor by the National Physical Planning Policy and the Plan- 2030. The potential of the proposed development, such as proposed Kurunegala – Dambulla railway, proposed Polgahawela to Kurunegala double railway line and positioning of two interchanges points (Gettuwana and Dambokka) of central expressway directly affects the economic development in Kurunegala town.

It can be able to get the optimum utilization from underutilized lands which locate in the town area, using the potentials of those upcoming development projects. The proposed alternative road network and internal road widen projects supports to value addition for internal lands with encouraging commercial development. The main purpose of this plan is to promote the economic status of the town.

The North Western Province contributes 10.7% of total GDP and obtains the third place from GDP contribution, among the provinces of Sri Lanka. From that total GDP value, 1.5% belongs to the agricultural sector, 3.2% belongs to the industrial sector and 5.6% belongs to the service sector. As the administrative and commercial capital of the North Western Province, the Kurunegala town has provided a considerable amount of contribution to GDP. This economic development plan recommends diversifying the economy in industrial and service sectors and it may cause to achieve a considerable amount of economic development in this region.

The Kurunegala town has become the main administrative and commercial city in the North Western Province. Nearly 300,000 people daily commuting to the town, to obtain services and administrative facilities. This is also a potential for economic development. This plan aims to increase the daily commuting population up to five lakhs (500,000) by infrastructure development projects and other development projects. It is expected to convert this town as the main economic center in the region. The higher accessibility factor able to attract nearly one lakh (100,000) of Young children (for tuition class) during the weekends, from different regions such as, North Central, Northern, Eastern, and Central. This amount is about 20,000 on weekdays. This potential is an important factor that can be used to strengthen the urban economy. Here expected to further strengthen the urban economy through the installation of tertiary education facilities in the town center and generating employment opportunities.

In here expecting to enhance the quality of physical, environmental, social

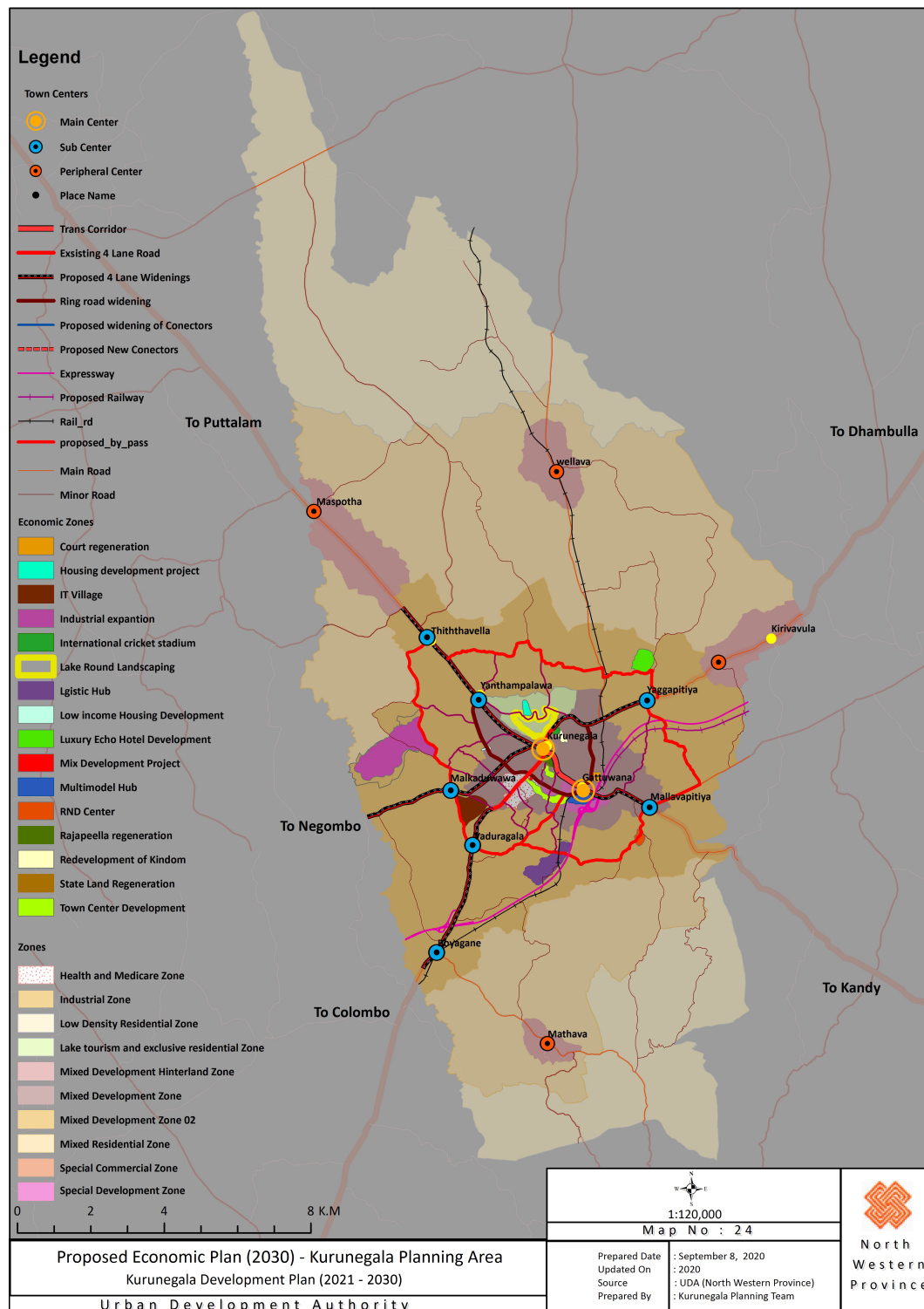
status of the urban environment, through the proposed transportation plan, service plan, infrastructure development plan and environmental management plan. Accordingly, it should cause to attract government and private sector investments. The main purpose of that development is to promote the urban economy by providing employment opportunities for the community.

6.4.1. Proposed Strategies

1. Redevelopment of the town center – Restructuring the town center help to develop the underutilized lands to get their optimal usage to attract investments.
2. Development of the Transit Oriented Hub in Gettuwana area, with getting the closeness locational advantages of highway interchange point (Gettuwana) and Railway Station.
3. New town development strategy : Directing the rapid development of low-lying landfills in the city center through formal manner
4. Establishment of a Goods Promoting Center and expansion of Industrial Zone using the higher accessibility factor. Here expects to use skilled labour to develop the urban economy.
5. The establishment of IT-based Villages, Tertiary Education Center and Tuition Classes to uplift the level of computer literacy rate, education level of the unemployed. Accordingly, expects to use the high demand Kurunegala town for economic development.

(Map no 6.15)

Map No. 6.15 - Proposed Economic Development Plan



Source : Urban Development Authority North Western provincial Office , 2020

6.4.1.1 Strategy 1 - Redevelopment of the Town Center

The town center means the area belongs to 500m radius buffer, including the main junction (which connects five main roads) and the bus stand. The land value are relatively high (one perch is 10 million) and more than 10% of lands are covered by government institutions in town center. Most of the buildings are one storey buildings and some usages of the government institutions such as court and prison does not match with noisy environment. Because of that, there can be identified a huge traffic congestion in this town center. This town center redevelopment plan aims to implement economically productive projects, according to a systematic plan to change the image of the city. Redevelopment of the town center encourages to develop the underdeveloped lands, to get the optimal usage with a value addition. This zone is identified as the evolve nucleus and most of the land plots are smaller than 6 perches in the Kurunegala core town center. Due to the land acquisitions for road widening projects, the available land extents were reduced and most of the developments become irregular. It should introduce some rules and guidelines to formalize the development activities in this core town area through this proposed redevelopment project.

- The underdeveloped and insufficient lands which are located in the town core area, should have to get the optimal usages.
- Open up the identity and the historical value of the town for the community.
- Increase service levels in the city

The following projects and the projects identified in the project list (6.6.1) are implemented under those strategies.

Projects

1. The court complex have to relocate to a suitable place in Gettuwana area and provide supportive activities such as Prisons, Judicial Offices, Judicial quarters, Attorneys' offices proximity to court complex. The current court complex developing as a shopping malls 9shopping complex) preserving archaeological value and historical heritage of that buildings. Development of the Dharmapala Park as an attractive place for the public.
2. The 7 acres of land located in Mihindu Mawatha with consist of government institutions such as, Road Development Authority, Urban Development Authority, Housing Development Authority, Department of Police and Post Office. This area can be identified as an underutilized area. This area has a potential to develop high dense (including high FAR) administrative, commercial and residential development as land which is located in the heart of the city center. This project is to be implemented under several stages.

- a. Regenerate (within the same location) the police station, Police quarters and the office of Senior Superintendent of Police.
 - b. Relocates the prison, Judicial quarters and Lawyers' complex. (It is proposed to relocate the court complex on the premises of the current government quarters in Gettuwana area)
 - c. The land in Mihindu Mawatha will develop with high dense (including high FAR) administrative complex, commercial complex and residential complex.
3. Proposed a mixed development project for public market (this land owned by the urban council) - The present public-market is in an underdeveloped manner with old buildings.
4. Regenerate the weekly fair in a land which locates low-income houses of the sanitary workers who work with Urban Council. A Cinema Hall, Shopping complexes and Urban Park proposed near to the Gettuwana Transport Hub, as a mixed development project to get the maximum utilization form that land.
5. Rehabilitation of Welagedera international cricket ground.
 - a. The stadium regenerates as an international cricket stadium and it will significantly contribute to the city economy of Kurunegala. This project may strengthen by the proposed central expressway because it can be reached to the Kurunegala within one hour from the Colombo.
6. Construction of a luxury hotel, including 50 rooms in the old Rajapihilla Rest House and construction of another hotel complex including, 50 rooms in Badagamuwa Reserve. (The hotel complexes develop in parallel to the international cricket ground to provide accommodation facilities. It will strengthen the urban economy by attracting tourists who travel crossing the Kurunegala, by providing food and accommodation facilities.)

6.4.1.2 Strategy 2 Development of Transit Oriented Hub.

The objective of this project is to develop the Kurunegala town as, transit based development center by using the potentials of better connectivity and easy accessibility from different modes of transport systems such as main roads, railways and highways (expressways). It is an opportunity to reach the prime objective of " Wyamba Metropolis" by 2030. It is expected to develop the Gettuwana area with a transport oriented economic development by getting the closeness locational advantages of highway interchange point (Gettuwana) and Railway Station.

It is proposed to develop Multimodal Transportation Hub in the Gettuwana area by connecting highway, railway and normal way to establishing a bus stand. The potentials of integration of several transport modes will an opportunity to provide supportive activities such as service centers, residential complexes, commercial complexes and administrative centers. (Figure 6.6)

Figure 6.6 - Conceptual plan for proposed multimodel hub



Source : Urban Development Authority North Western provincial Office , 2020

6.4.1.3 Strategy 3 – New town development

There is a need to link the transportation orient development center with the existing city in parallel with the establishment of new transportation based development center. Therefore, the best potential for development between the Gettuwana area and the Kurunegala-Colombo main road is the formal development of the low lying areas parallel to the internal circular road.

The aim is to create ponds and waterways to allow water to drain in the event of an urban flood situation in the city, and to create parallel lanes, beautiful parks and facilities for the population that will be attracted to the larger city in the future. Also, as there is a shortage of land for the implementation of large scale projects in the city, the objective is to identify plots of land that can be developed in this region and provide opportunities for that. (Figure 6.7)

Figure No. 6.7 - Conceptual plan new town development



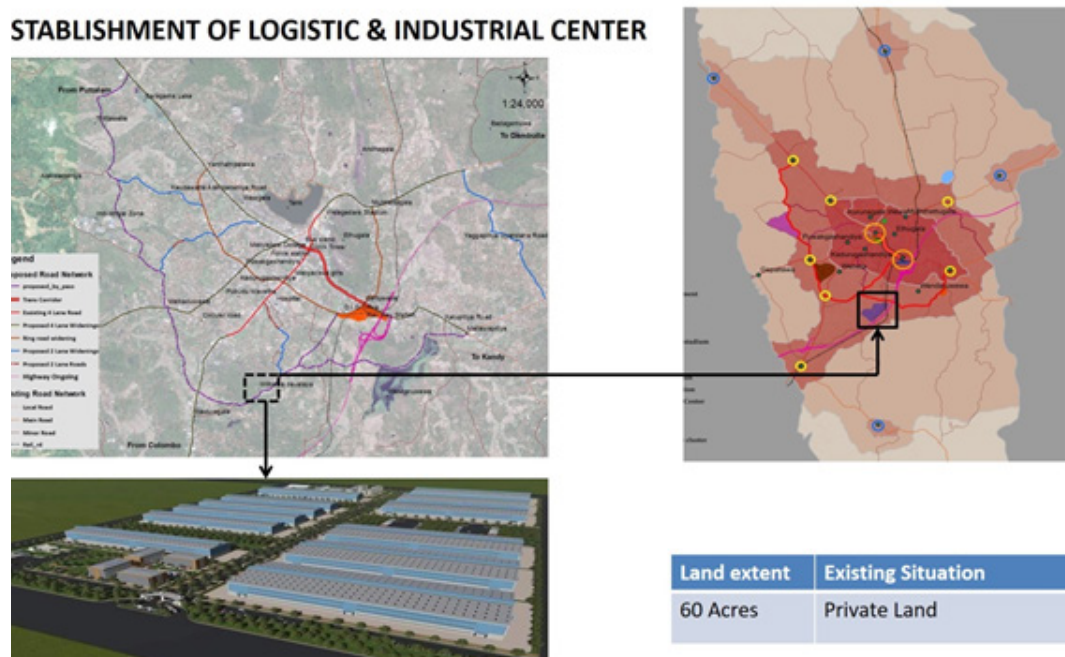
Source : Urban Development Authority North Western provincial Office , 2020

6.4.1.4 Strategy 4 - Development of a Logistic Hub.

It has a possibility to develop as a distribution center (Logistic Hub) with getting the potentials of upcoming development projects of central expressway and railway expansion projects, because this Kurunegala is a nutrient area for number of raw materials such as bricks, tiles and cement. Apart from that, this area becomes more popular for Vehicle and Spare Parts trading in Sri Lanka, nowadays. It already identifies a 50 acre area near to the Nailiya Railway Station in between the Gettuwana and Dambokka highway interchanges. This proposed logistic hub includes all the facilities for store items, packaging and container yards.

By considering the current demand for storage facilities in the Kurunegala town, this strategy implement to reach the goals of; to generate employment opportunities for 17% of from the total labour force (19,000) and reduce the unemployment from 25% with provide job opportunities, to formalized the stores facilities which are disperse in several areas in town center as informal and problematic manner, to widening the service economy in the city, to strengthen the urban economy, getting the potentials of easy accessibility from highways, railways and normal ways to enhance the urban economy (map number 6.21).

Figure 6.8 - Development of logistic hub and industrial zone in Nailiya



Source : Urban Development Authority North Western provincial Office , 2020

6.4.1.5 Strategy 5- Expanding the Industrial Zone – Heraliyawela

The Heraliyawela industrial zone is located near the proposed two lane - alternative road. There are already 45 industries are located and more than 4000 employees are working in this industry zone. As this industrial zone locates proximity to two highway interchanges (Gettuwana, Dambokka) and proposed alternative road; it has the potential to import raw materials and export of production in a more efficient manner. Apart from that, there is a chance to get the attraction of the investors towards to the Kurunegala town center because the lands are lower in price than the Colombo.

This strategy implements to reach the goals of; to generate employment opportunities for 17% of skilled labours for the total unemployed labour force, to obtain the raw materials for industrial zone from the proposed two lane - alternative road which goes through the Heraliyawela Industrial Zone, to get the maximum productivity from the industrial zone by using the expressway and railways to distribute the productions, to fulfill the land demand for the Heraliyawela industrial zone, to increase the technical employment rate by 11% (10,000) and diversifying the economy by enhancing the industrial employment opportunities.

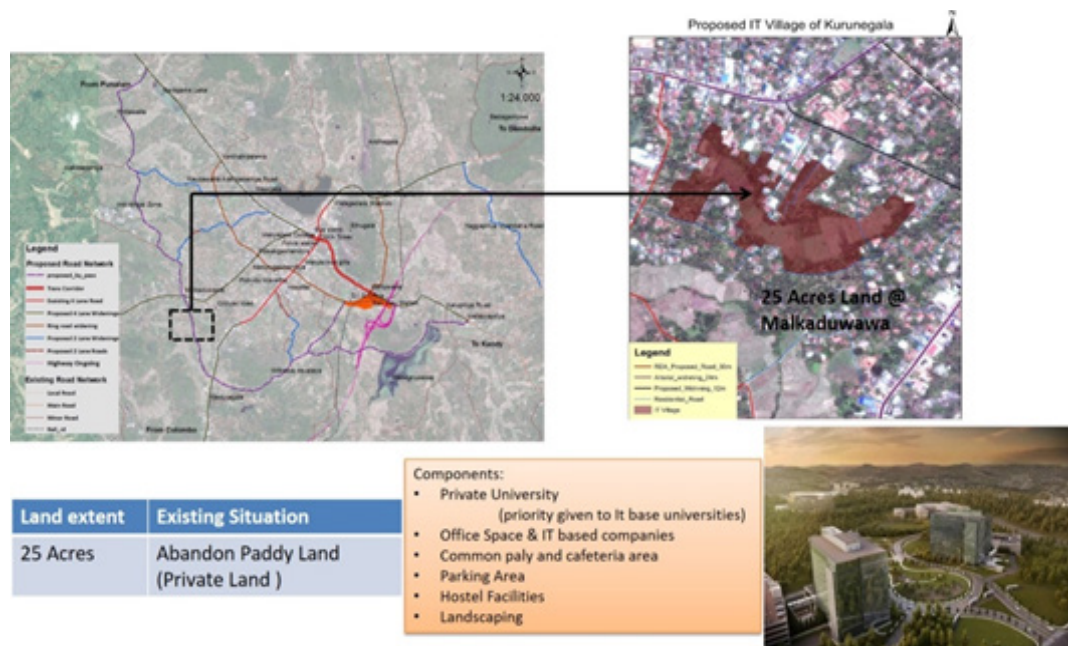
6.4.1.6 Strategy 06 - Development of an Information Technology Center

With the proposed central expressway it can be reach to the Kurunegala within one hour from the commercial capital Colombo. As described in SWOT analysis in chapter 5, there is a high demand for IT based education and job opportunities, because of the demand for tertiary education in the town center, the high level of education of the people in catchment area etc. It has possibility to attract professionals and investors towards to Kurunegala, because of the less land prices than the Colombo, availability of labour, possibility to get infrastructure facilities in an easy manner etc. Here identified a 25 acres of land between Colombo Road and Negombo Road with proximity to expressway, alternative road, Railway Station; to establish an Information Technology Center under this strategy. Accordingly, expecting to develop this area as 'Economic Growth Center' with the development of an Information Technology Center, by enhancing the facilities such as commercial centers, accommodation facilities, hotels, vehicle parking areas, leisure parks and entertainment opportunities.

By considering the elements of high level of computer literacy, high level of education and unemployment; it is expects to strengthening the urban economy with achieving the below objectives,

- Provide job opportunities.
- Enhance the opportunities for tertiary education.
- Stopped the brain drain to Colombo by enhancing this as a main Information Technology Center in northern part of the Sri Lanka using the higher accessibility factor.
- Strengthening the urban economy.

Figure 6.9 - Development of an Information Technology Center



Source : Urban Development Authority North Western provincial Office , 2020

6.4.1.7 Strategy 07 - Establishment of Facility Center for Tuition Classes

Considering the available high demand for tuition classes in Kurunegala, expecting to enhance the educational status of the students who coming from difference areas, providing high quality tuition classes for students, to get economic beneficiaries by renting halls for tuition classes are the objective of this project.

A 2 acre land has been identified for this purpose which can get access from Kandy Road. This land plot is owned by the urban council and currently parks, private buses in this land.

6.4.1.8 Strategy 08 - Installation of proposed a Technical Research and Development Center

By considering the demand for tertiary education according to the higher education level in this region, expecting to develop universities, technical colleges and vocational training institutes. The required lands hope to acquire and proposed to lease for investors for development activities, with providing all the infrastructure facilities.

It is identified to acquire a 13 acres of scrubs land on Katupitiya road, Mallawapitiya area to develop this Technical Research and Development Center because this locates with a proximity Gettuwana Interchange point.

6.5 Sustainable Environmental Strategies

6.5.0 Introduction

This environmental plan introduces to strengthen the proposed development plan in Kurunegala and it consists with four sections.

1. Wetland Plan
2. Landscape Management Plan
3. Disaster Mitigation Plan
4. Proposed Public Open Spaces and Recreation Development Plan

6.5.1 . Wetland Plan

6.5.1.1 Wetlands

According to the existing land use plan, mostly paddy lands can be identified as wetlands in the Kurunegala Municipal Area. Paddy Cultivated Lands are indicated in (8.11.2 Wetland agriculral development Zone) Since the Paddy Cultivated Lands act as water retention and drainage areas, maintaining paddy lands as its can minimize floods affecting to the area.

6.5.1.2 Wetland Zoning

Wetland agriculral development Zone/ Existing cultivable paddy fields, vacant paddy lands and related areas such as Deniya, Ovita etc. and wetland related agricultural areas belong to this zone.

6.5.1.3 Wetland Management Strategies

1. Taking action to minimize environmental disasters through action taken by the Agrarian Development Act.
2. To avoid irregular building constructions and unauthorized constructions around the tanks by maintaining a reserve.
3. Development of liner parks around the Kurunegala Wewa, Saragama Wewa and Wendaru Wewa.

6.5.1.4 Scenic view points

Several scenic view points are locating in Kurunegala Town and surround area.

- Ethugala
- Kurunegala Wewa
- Saragama Wewa (Saragama Lake)

- Wendaru Wewa
- Clock Tower

The developments should implement without any disturbances to those scenic viewpoints and it will help to protect the attractive environmental factors in this area. Discourage the construction activities which are disturbing to the view of Ethugala and it should be introduced maximum building height to the constructions as rules and guidelines.

6.5.2. Landscape Management Plan

The main objective of this plan is to conserve and intensify the existing natural landscape features of the area. This will be protected the existing city identity.

In addition, an environmental conservation base systematic plan is aims at the sustainable landscape development of various ecosystems and streetscape.

The landscaping of the Kurunegala Urban Area to face global climate change in the future will be geared towards the following objectives.

- a. Increasing urban forest cover to mitigate disasters such as rising urban temperatures, increased of carbon footprint, increased air pollution, and increased flooding.
- b. Planting indeginous trees for a urban bio diversity improvement.
- c. To provide further encouragement to pedestrian and to provide separate sidewalk ways with shade and seating for pedestrian safety.
- d. Protection of sensitive ecosystems and introduce of Wise use sustainable use in eco-friendly recreation.
- e. To provide well-designed open spaces for the public with infrastructure facilities such as urban squares and public parks.
- f. Increase of Economic development in the city by adding various parks, walkways, landscape lighting and suitable billboards.

This Landscape Management Plan identified that the following areas should be redesigned according to the proper landscape plan.

1. The Proposed Adventure Park near to Ethugala - the land surrounding the palace
2. Rajapihilla Garden
3. Walking track with Rajapihilla Garden
4. Kurunegala Lake Landscape Stage iii
5. Landscaping around the Saragama Wewa
6. Development of walking track in a paddy land called 'Sirisara' which is locate near to the teaching hospital.

7. Landscaping projects in Wellawa and Muththettugala railway stations.
8. Tourism promotional adventure centre at Badagamuva forest

Below pictures illustrate sketches of proposed landscaping designs for several areas described in above (figure 6.5 to 6.14 and table 6.14).

Figure 6.10 - The Proposed adventure Park near Athugala



Existing

Proposed

Source : Urban Development Authority North Western provincial Office , 2020

Figure 6.11 - Rajapihilla Park



Existing

Proposed

Source : Urban Development Authority North Western provincial Office , 2020

Figure 6.12 - The Walk Way Development near Rajapihilla Park



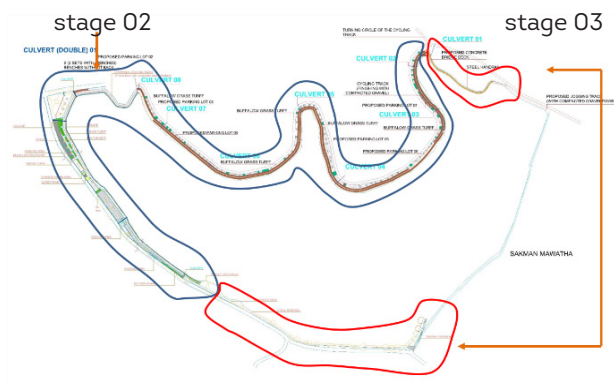
Existing



Proposed

Source : Urban Development Authority North Western provincial Office , 2020

Figure 6.13 - Kurunegala Lake Landscape Stage iii



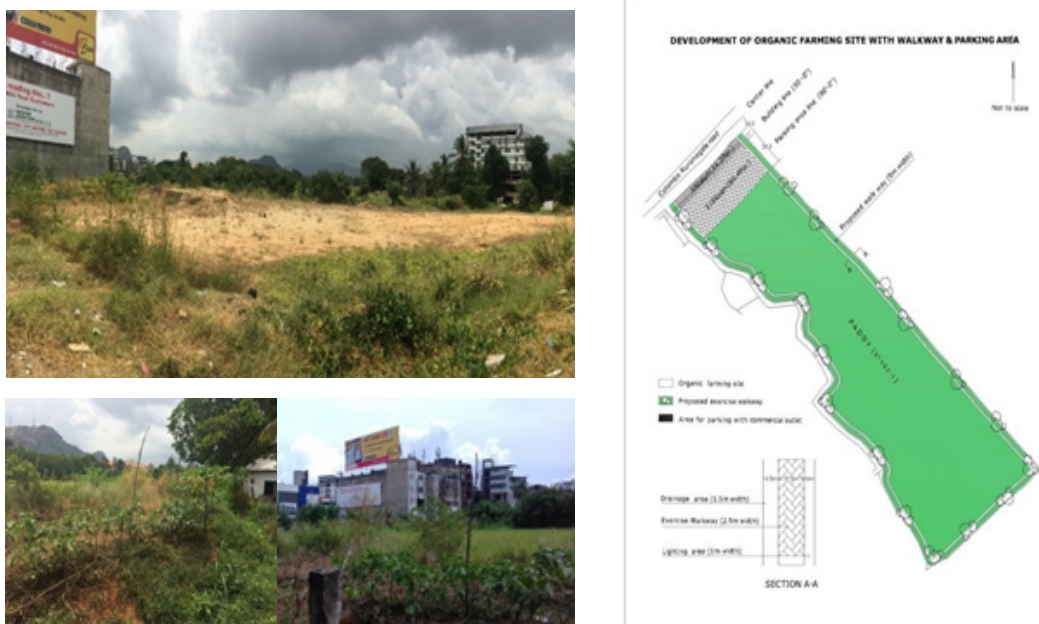
The Completion of stage 02 and the proposed Stage 03

Figure No. 6.14 - The Landscape Around Saragama Lake



Source : Urban Development Authority North Western provincial Office , 2020

Figure No. 6.15 - The Walk Way developments at Sirisara Paddy Lands Adjacent to Kurunegala Hospital



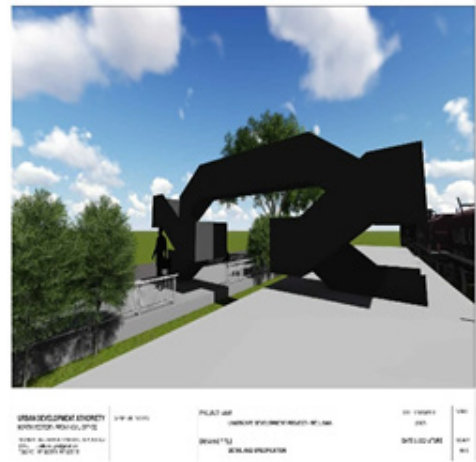
Source : Urban Development Authority North Western provincial Office , 2020

Figure No. 6.16 The Landscape Project at Wellawa and Muththetugala Railway Station



Existing

Existing condition of wellawa railway station



Proposed

Proposed condition of wellawa railway station

Source : Urban Development Authority North Western provincial Office , 2020

**Table No. 6.14 - Direct and indirect recreation plan. 2018 – 2030
Kurunegala urban area**

No	Category	Current usage	Extent (Hectare)	Proposed usage	Grama Niladharee Division
01	Proposed Pocket Park (PPP)				
	PPP 01	Commercial	0.07	Pocket Park	Central of Kurunegala Town
02	Proposed Community Park (PCP)				
	PCP 01	Forest	4.5	Community Park	Kurunegala Bazzar, Gettuwana
03	Proposed Forest Park (PFP)				
	PFP 01	Forest (Badagamuwa)	231.88	Forest Park	
	PFP 02	Forest (Kubalpola)	53.95	Forest Park	
	PFP 03	Forest (Haweniyaththa)	59.2	Forest Park	
	PFP 04	Forest (Sundarapola)	70.08	Forest Park	
	Sub Total		415.11		
04	Proposed Linear Park (PLiP)				
	PLiP 01 (Canal Reserve -5m)		0.7	Linear Park	
	PLiP 02 (Canal Reserve -5m)		2.2	Linear Park	
	PLiP 03 (Canal Reserve -5m)		6.18	Linear Park	
	PLiP 04 (Canal Reserve-5m)		0.68	Linear Park	
	PLiP 05 (Wennaru lake Reserve)		18.63	Linear Park	
	Sub Total		28.39		
	Total		448.07		

Source : Urban Development Authority, Environment and Landscape Division 2019

6.5.3. Disaster Management Plan

6.5.3.1 Existing Disaster Situation

There are 245 square kilometers are belongs to this Kurunegala Town Development Plan as the boundary and it consists of Municipal Council area and some areas of Divisional Secretariat boundary (Pradeshiya Saba areas). The disaster situations identified within that town area as follows,

1. Floods
2. Landslides
3. Heavy winds
4. Drought
5. Storms

6.5.3.2 Guidelines for Disaster Prone Areas in the Kurunegala Municipal Council

1. Flood

Strategies to development activities in flood prone areas

- a. The construction activities of low lying areas should be minimized and develop a methodology to discharge rain water.
- b. Maintenance as low-density populated areas.
- c. Construction of flood barriers.
- d. Forest plantations in water catchment areas.

2. Drought

Strategies to development activities in the areas which are faced to drought

1. establishment of rainwater collecting tanks.
2. Cultivation of crops which are adapted for dry weather.
3. During the land development works,
 - Protect the plant species which have environmental values.
 - Restrict the filling of existing reservoirs.
 - Reconstruction of reservoirs and tanks Located nearby to forest reserves.

4. Planting the adapted plants for dry weather conditions in Landscaping.

3. Heavy winds and Storms

Strategies to development activities in Storms prone areas

- a. Be careful regarding open lands because the construction activities which are located in open lands mostly faces to Heavy winds and Storms such as paddy fields, open areas and mountain clips.
- b. The construction activities in mountain slopes will minimize, because it will damage by the wind.
- c. Implementing the construction activities in a high vegetation area can reduce the wind speed, because it act as wind barriers.

4. Landslides

Strategies to development activities in landslides prone areas

- a. Prevention of irregular land uses.
- b. Following the 'Helmalu' Plantation systems for cultivation activities in sloppy areas.
- c. Control of conversion of agricultural lands for non-agricultural activities.
- d. Controlling the expanding of unsuitable crops.
- e. Use stone bundle and forest covers for conservations.

6.5.3.3 Zoning plan for Disaster Minimise

It can be categorized in to two main regions, considering the disasters in the Kurunegala urban area.

1. Green Corridor Zone
2. Low Dense Residential Zone

1. Green Corridor Zone

Deduru Oya, Maguru Oya, Gettuwana canal, Wan Ela and Buu Ela areas have high water retention capacity and those areas have to preserve as green corridors, to establish open recreation areas.

According to the recommendations of the Irrigation Department, have to introduce building lines to preserve green corridors, around the Deduru Oya and Maguru Oya. The canal reservation is 4m for building lines around the Buu Ela and Wan Ela.

2. Low Dense Residential Zone

The disaster prone areas such as landslides, cyclones and drought are belongs to this low dense residential zone.

6.5.3.4 Approved uses for each zone

- i. **Green Corridor Zone**
 - b. Gardens and playground
 - c. Irregular entertainment facilities
 - d. Linear parks
 - e. Keep water retention/ water flow areas
 - f. Agriculture activities
 - g. Environmental tourism
 - h. Wetland preservation areas
- ii. **Low Dense Residential Zone**
 - a. 'Helmalu' Plantation systems for cultivations
 - a. Limited city development programs
 - a. Use the Rain Water Harvesting System
 - a. Forest plantation in sloppy areas

6.5.4 Proposed Public Open Spaces and Recreation Development Plan

The public open spaces and recreation facilities very useful to increase the quality of life of the community while increasing physical / mental level of the individuals. As a result of that, the Public Open Spaces and Recreation Development Plan included to this proposed plan by Urban Development Authority. According to the design standards of Urban Development Authority, recommended a minimum standard of 01 hectare land per 1000 persons to be allocated for public outdoor recreation. According to the report of census and statistics, the population of the Kurunegala Urban area in 2017 is 180,339. According to the predicted population for 2030, 247,428 of population will record by 2030. According to the analysis, it should be allocated 247 hectares of land as direct and indirect recreation by 2030.

6.5.4.1 Existing Direct and Indirect Recreation facilities in Kurunegala Town Area

There are main two components can be identified under recreation facilities, as direct and indirect. It should be allocate considerable land extent for direct recreation facilities because people can actively participate for those activities. Below list out the examples for direct recreation activities.

- i. Playing
- ii. Swimming
- iii. Running
- iv. Walking
- v. Boat riding
- vi. Traditional fishing

The direct recreation facilities are very limited in Kurunegala town and the details of available facilities included to tables 6.11, 6.12 and 6.13 (appendix).

Table No. 6.15 Direct recreation areas in Kurunegala

Number	Type of park	Extent (hectare)
1.	Pocket Parks (EPP)	0.49
2.	Mini Park (EMP)	11
3.	Local Parks (ELP)	5.92
4.	Linear Park (ELiP)	2.12
	Total	19.84

Source : Urban Development Authority Environment and Landscape Division 2019

At present, 19.84 hectares are available for recreation facilities in the Kurunegala Municipal Council as describes in table 6.11. It should be allocate 180 hectares for recreation according to the current population of 180, 399. But there are no required amount of public open spaces and recreation facilities in Kurunegala town area and existing facilities also not enough in this area.

Available indirect recreation facilities

- i. Public Library - 01
- ii. Film Hall - 03
- iii. Conference Halls - 03

Name	Available Seat Amount
a. Town hall	500
b. Provincial Council Auditorium	535
c. Young Men's Buddhist Association Hall (YMBA hall)	400

6.5.4.2 Proposed Public Open Spaces and Recreation Development Plan – 2030

The estimated population is 247, 428 for 2030. Accordingly, 247 hectares of land should be allocated as direct and indirect recreation areas by 2030. The details of proposed direct and indirect recreation facilities by Kurunegala Town Development plan 2019-2030; illustrates in below map number 6.22 and table 6.14, and 6.16

Table No. 6.16 - Proposed Public Open Spaces and Recreation Development Plan - Kurunegala Town Area 2020 - 2030

Number	Type of park	Extent (hectare)
01.	Proposed Pocket Park (PPP)	0.07
02.	Proposed Community Park (PCP)	4.5
03.	Proposed Linear Park (PLiP)	28.39
04.	Proposed Forest Park	415.11
	Total	448.07
05.	Available open spaces	19.84
	Final Total	467.91

Source : Urban Development Authority ; Environment and Landscape Division 2020

1. Strategies for Proposed Public Open Spaces and Recreation Development Plan

- i. All the available play grounds, playable - common open spaces and playable- bare lands develop as direct recreation facilities and available spaces should be redeveloped.
- ii. The available play grounds redevelop with all the facilities.
- iii. The available open spaces and vacant lands develop as ecofriendly paly grounds.
- iv. Controlling unauthorized constructions by enforced guidelines for open spaces.
- v. Upgrading the available maintenance activities and management of existing playgrounds and park.

- vi. Establishment of sports clubs, holiday resorts, bungalows, tourist hotels and social entertainment facilities; to meet the needs of local and foreign tourists.

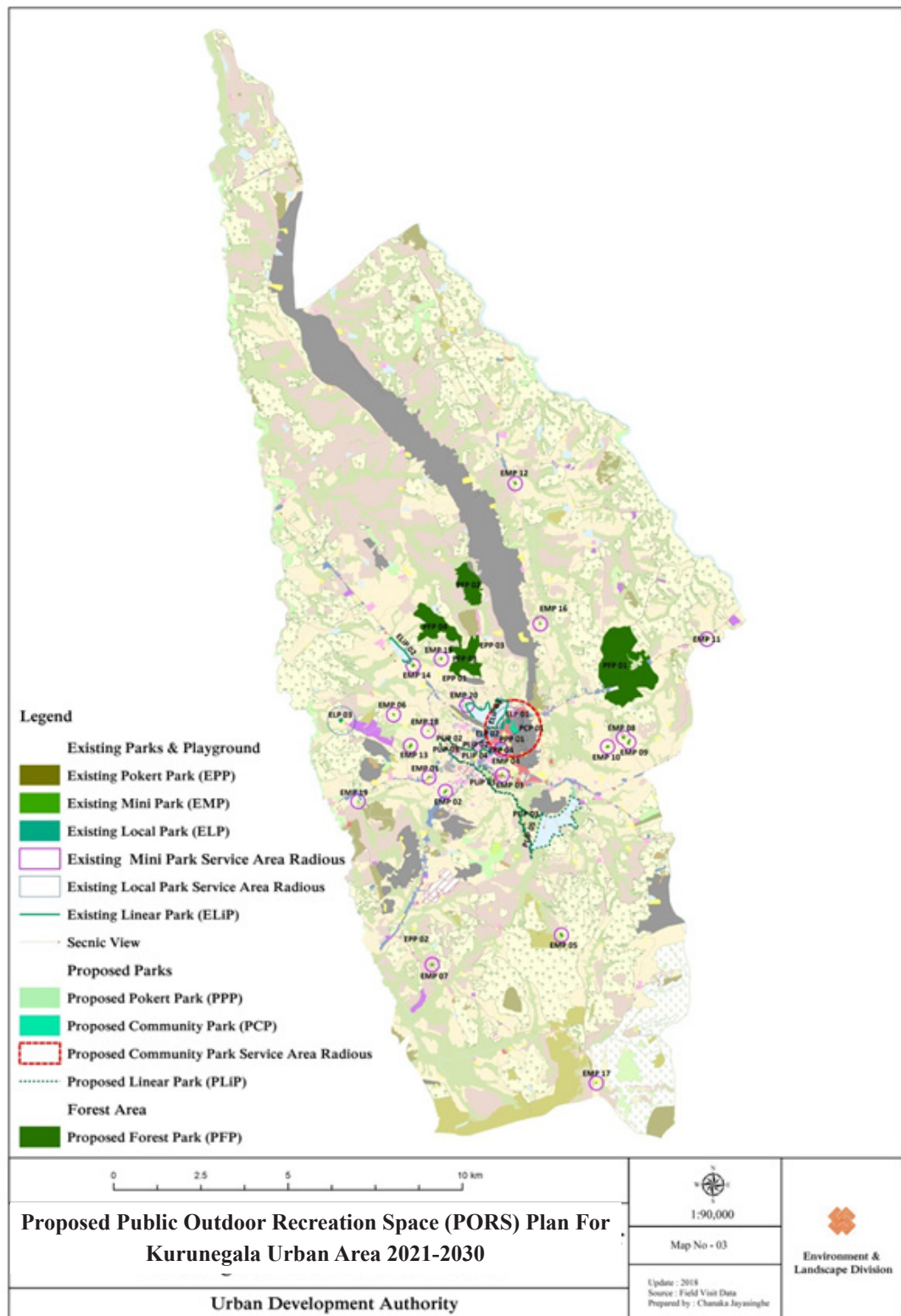
2. Implementation of the Concepts of Linear Parks

The existing tanks, streams and canals of the area should be developed as linear parks. It can be used to provide adequate entertainment and facilities for the community and control the flood situations also.

3. Reduction of temperature by 2030 – Methods

- i. All the Government and semi government buildings converted as green buildings following the concept of 'Neela Haritha Buildings'
- ii. Establishment of green roofs in the roof tops in all the residential buildings and offices with water sprinklers.
- iii. Use light colors when color washing the buildings
- iv. Introducing the green concept for proposed vehicular parks and redevelop available parking spaces with green concept.
- v. Keep spaces to absorb water into the ground, when interlocking bricks and use light colors
- vi. Maintain the available playgrounds, gardens, open spaces and flowing the green concept for proposed open spaces.

Map No. 6.16 - Proposed Public Open Spaces and Recreation Development Plan



Source : Urban Development Authority Environment and Landscape Division 2020

6.6 Implementation

6.6.1 Strategic Projects

Table No. 6.17 - Project Priority List

Project NO.	Priority Value	Project	Project Duration
1	4.2105	Develop the Outer Circulation Road	Middle Term
2	4.1754	Dam construction of Wanduru Pinu Ella and enlarge the pipe borne water supply scheme	Long Term
3	3.8246	Develop a multi-modal transportation hub in old railway station land	Middle Term
4	3.7807	Widen and develop the 16 local roads (see the transport plan)	Middle Term
5	3.7456	Development of public parking areas	Short Term
6	3.7193	Widen the roads of Road Development Authority	Middle Term
7	3.6754	Redevelopment of Rajapihilla Garden	Short Term
8	3.6667	Develop the Commercial, Office and Residential complexes in middle of the town (Mihindu Mawatha)	Long Term
9	3.6228	Develop the Old Rajapihilla Rest House as a 50 room hotel.	Middle Term
10	3.5989	Kurunegala Lake landscaping Stage iii	Middle Term
11	3.5702	Relocate the court, the prison, the official quarters, the Lawyers' office complex, in Gettuwana proposed court complex area.	Long Term
12	3.5614	Develop the Central Market in middle of the town	Middle Term
13	3.5614	Expansion of Road Development Authority Inner Circular Road.	Middle Term
14	3.5142	Land Development project for new town development	Long Term
15	3.4737	Transit Corridor- Development Katugasthota/Puttalam road as 6 lane road from Gettuwana Multimodal Transport Hub to main bus stand in city center.	Middle Term
16	3.4649	Land acquired for the housing development project (see the housing development plan)	Middle Term
17	3.4561	Old court complex develop as shopping complex	Middle Term
18	3.4561	Develop parking bays for private buses	Short Term
19	3.4299	Technical, Research and Development Center in Doratiyawa Road	Long Term

20	3.4211	Develop the Welagedara International Cricket Stadium	Long Term
21	3.4035	Land acquisition and land development for the construction of Information Technology Village in Malkaduwwa	Long Term
22	3.4035	Mix development project in present fair area	Middle Term
23	3.2982	Housing development project for low income families - Wilgoda	Middle Term
24	3.2456	Project of preparing the pedestrian walk ways	Short Term
25	3.2193	Expansion the coverage of sewerage system for High Dense Urban Zone and Suburban Zone	Long Term
26	3.2105	Relocate the fair in Wilgoda area, land belongs to Urban Council	Short Term
27	3.2105	Redevelopment of Wilgoda Sluice	Short Term
28	3.1842	Redevelop the police and police quarters into Senior Superintendent of Police office in the same land	Middle Term
29	3.1842	Develop the walking track in 'Sirisara' paddy field near to the hospital	Short Term
30	3.1842	Construction of a small park and bus halt in the land of the Land Registry Office.	Short Term
31	3.1053	Land acquisition for the industrial development of Heraliyawela	Middle Term
32	3.1053	Development of Udawalpola play ground	Middle Term
33	3.0877	Upgrading the facilities in available schools (according to education development plan)	Middle Term
34	3.0702	Establishing a tuition class center at the private bus parking area in Rajapihilla.	Short Term
35	3.0655	Cable car Project	Middle Term
36	3.0579	Eco Hotel @ wav gala Premises	Middle Term
37	3.0439	Develop the Star hotel in Badagamuwa 10 Arce land, belongs to the Kurunegala Plantation company.	Long Term
38	3.0175	Landscape development project of the Sara Gama lake area.	Short Term
39	2.9912	Land acquisition and land develop to the establish a goods promoting center in Nailiya	Long Term
40	2.9845	Tourism promotional adventure centre at Badagamuwa forest	Short Term
41	2.9298	Construction of Muththettugala flyover	Middle Term
42	2.7982	Develop the park in Palace area	Middle Term
43	2.7456	Landscape development projects in Wellawa and Muththettugala Railway Stations	Short Term

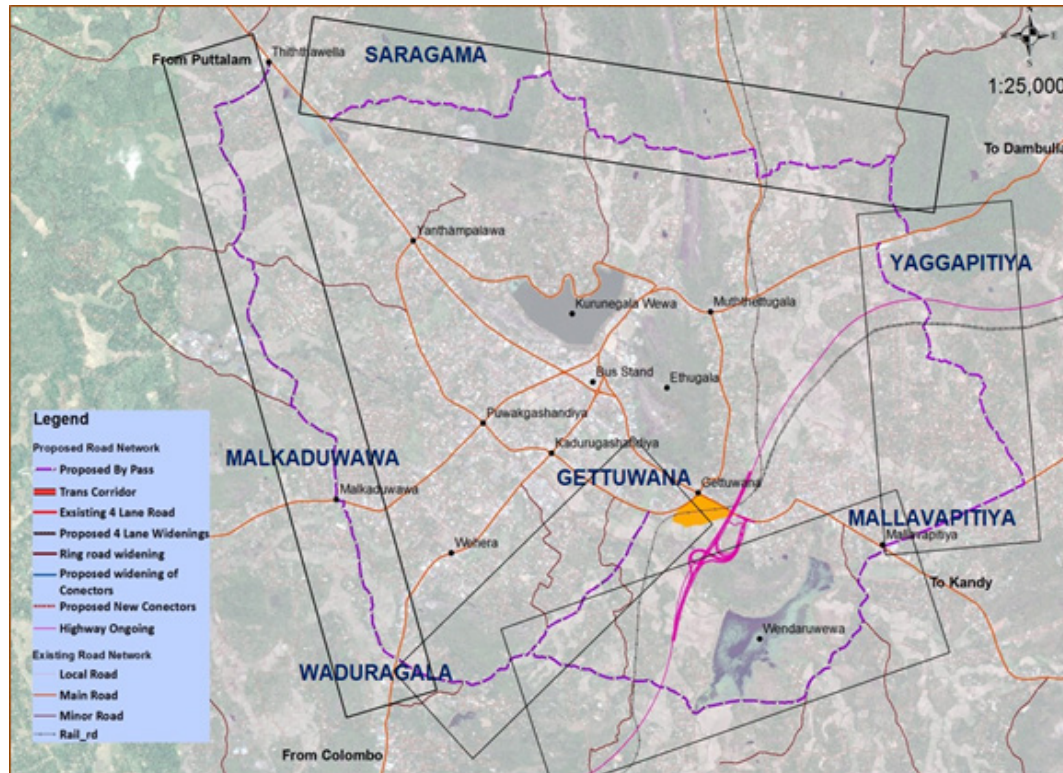
Source : Urban Development Authority North Western provincial Office , 2020

6.6.2 Project 01 - Develop the Outer Circulation Road

Project Proposal

Developing an alternate expressway which connects the outside of the town with Colombo Road, Puttalam Road, Kandy Road, Dambulla road and Negombo roads.

Project Plan



Source : Urban Development Authority North Western provincial Office , 2020

	Origin and Destination point	Total Length (K.M)	Length of new construction (K.M)	Proposed Width (m)	Cost (Million)
1	Waduragala to Gettuwana (Stage 01)	3.33	2.15	24 (4 Lane)	300
2	Saragama to Waduragala (Stage 02)	6.94	2.62	12 (2 Lane)	400
3	Mallawapitiya to Yaggapitiya (Stage 02)	4.64	-	24 (4 Lane)	400
4	Wilbawa to Mallawapitiya (Stage 03)	4.81	1.05	12 (2 lane)	250
5	Yaggapitiya to Thiththawalla (Stage 03)	7.7	-	12 (2 Lane)	300

Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding land-uses

Mix Development (Lands are consisted with paddy fields and home gardens)

■ Project Objectives

- Reducing traffic congestion in the city center.
- To reduce the traffic congestion by outer circulation road, which occurs proximity to expressway interchangers (Dambokka and Gettuwana) in A6 and A10 roads.
- To facilitate comfort condition for intercity travels who passing the city center
- Expansion of Developments.

■ Project Rationale

There are five main roads are connected with each other in the Kurunegala town center. As a result of that long-distance buses, lorries, heavy vehicles come to the center of the city; because there are no alternative routes to pass the town center. This creates huge traffic congestion at peak hours. In order to prevent this traffic situation, alternative routes have been proposed to connect all the main roads in the city and the drivers have options to pass the city according to their requirement or they can select low-traffic routes. This may increase the investment opportunities towards town center with enhancing the accessibility factor. This is the first stage of urban development.

■ Present Land Ownership

Private and Government own Land

■ Project Duration

Short term

■ Total Estimated Cost

Rs.1650 million

■ Financial Method

Road Development Authority, Expressway Road Project, Local Authorities

■ Present Condition

The survey plans are prepared already for Wanduramulla to Gettuwana part and the construction work will start by Road Development Authority.

- **The proposed plan and building planning requirements.**

Surveyor Plan, Drainage Designs of Land Reclamation and Development Corporation

- **Project Work**

Planning the project, Land acquisition. Road development.

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Planning the project, land acquisition	Road Development Authority	The Director-North Western
Road development	Road Development Authority	The Director-Provincial

- **Guidelines**

It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.3 Project 02

Construction of Wanduru Pinu Ella reservoir and enlarge the Pipe Borne water supply scheme.

This is proposed project by the National Water Supply and Drainage Board for the year 2030.

- **Project Description**

It is essential to implement this project to provide Pipe borne water supply for 250,000 of residential population and proposed Greater Kurunegala development project.

6.6.4 Project 03

Develop a multi-modal transportation hub

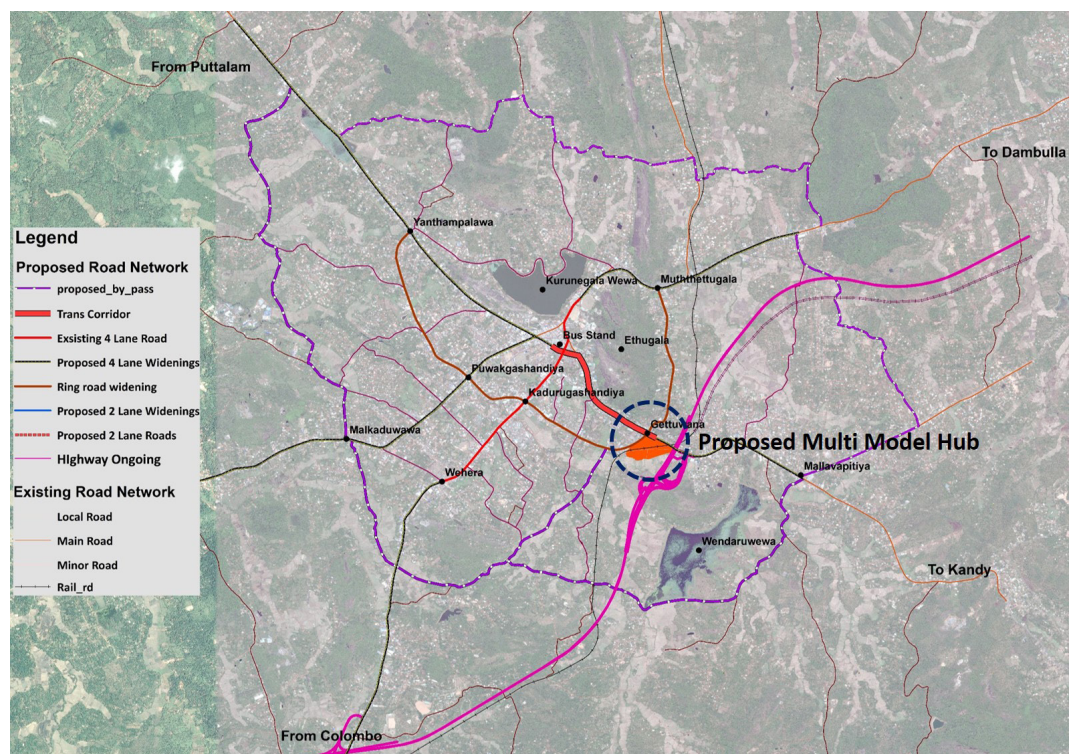
■ Project Proposal

Development of the proposed multi-modal transport hub at the present railway station land.

■ Access

Katugasthota-Puttalam Road, Southern Circular Road (Gettuwana), and highway interchange

■ Project Plan



Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding land-uses

this land is located near to the Gettuwana Highway Interchange. The Railway Station and slightly developed surrounding.

■ **Project Objectives**

- Establishment of the transit center in Kurunegala town.
- To make the Kurunegala town as efficient transport hub by integrating the multimode of transportations.
- Minimize the problem of lack of integration between the railway station and bus stand.

■ **Project Rationale**

This is an opportunity to attract high residential population and commuting population, using the potentials of multimodal transportation hub, which connects highways, railways and normal ways (roads), by enhancing efficiency and easy accessibility. The city's economy can be strengthened through the expansion of the services providing for the community.

■ **Land Ownership**

Department of Railways, Department of Co-operative Development, Illegal Residents, Private Owned Lands

■ **Project Duration**

Middle Term

■ **Financial Method**

Urban Development Authority, Expressway Project Highways Ministry, Railway Department, Foreign Loans

■ **Implementing Method**

Private Public Partnership (PPP)

■ **Project Description**

Development of a bus stand, vehicular parking, commercial complexes, bus stand for highway buses by optimally utilizing the currently own lands for the railway station, Cooperative Department, private own land and the land with unauthorized occupants. The Railway quarters are proposed develop an apartment complex.

■ Existing Infrastructure

Water, Electricity

■ Present Condition

Railway stations, stores, railway employee's quarters, cooperative stores and unauthorized houses.

■ Layout Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Project Activities

- Construction of a bus stand, Public vehicle parking areas
- Redevelopment of Railway quarters
- Landscaping
- Supportive Activities (Banks, Commercial etc.)

■ Approval Agencies

Activity	Relevant Authority	Authorized person
land acquisition	Urban Development Authority	The Director-Land
Construction of Bus station and vehicle parking area	Urban Development Authority Ministry of Transport Road development Authority	The Director-North Western The Secretary, Ministry of Transport
Construction of Railway Quarters	Department of Railway	The Secretary, Ministry of Transport

■ Guidelines

The construction activities should be conducted according to the rules and guidelines of Urban Development Authority.

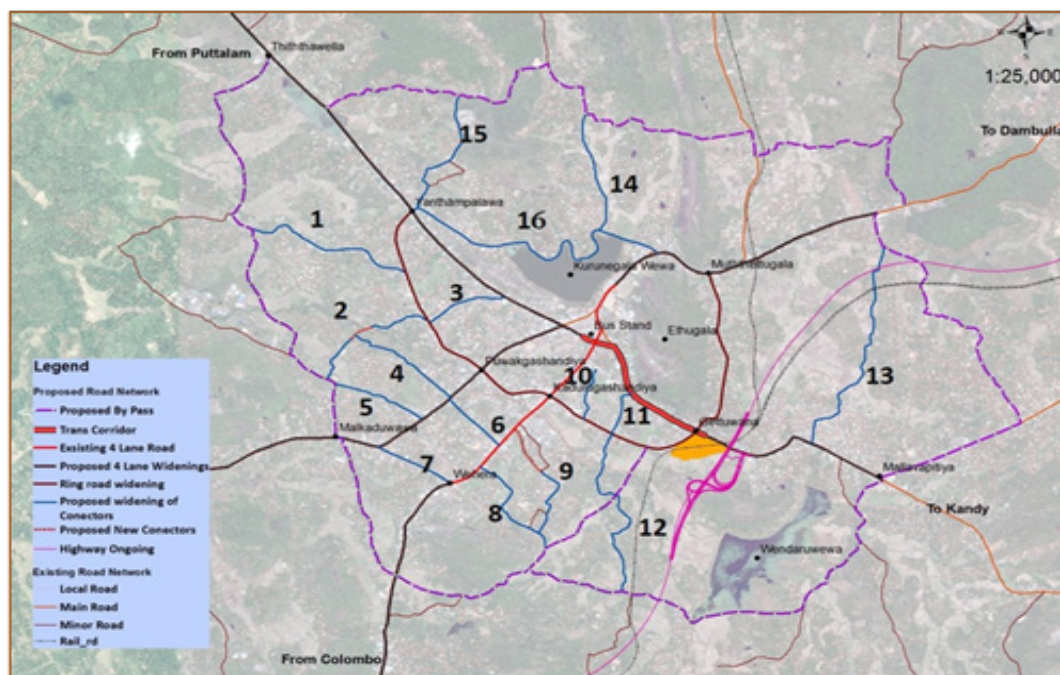
6.6.5 Project 04

Widen and Develop the 16 Local Roads.

■ Project Proposal

Widening and development of 16 selected internal roads in the town.

■ Project Plan - Identified roads for development



Source : Urban Development Authority North Western provincial Office , 2020

■ Road List

	Origin and Destination point	Length (K.M)	Pro-posed width (m)	Implementing insti-tution
1	From Kaudawatta junction to Alakoladeniya road	3.25	9	Provincial Road Development Authority
2	From Wilgoda junction to Wilgoda watta (Proposed bypass Road)	1.2 New Construction 2.5	9	Pradeshiya Sabha Kurunegala
3	From Wilgoda junction to Puttalam Road-Su-mangala Mawatha	.8	12	Municipal Council Kurunegala

4	Heraliyawala Road	1.2	9	Pradeshiya Sabha Kurunegala
5	Bandaranayake Mawatha	1	9	Pradeshiya Sabha Kurunegala
6	Pubudu Mawatha	0.7	12	Municipal Council Kurunegala
7	Malkaduwwa circulation Road	0.8	15	Municipal Council Kurunegala
8	Bandaranayaka School lane	1.1	12	Pradeshiya Sabha Kurunegala
9	From Base hospital to proposed Gettuwana bypass road. (Jayanthipura, Wilbawa Mawatha)	1.03 (New construction 0.56)	9	Municipal Council Kurunegala / Pradeshiya Sabha Kurunegala (Land acquisition by Urban Development Authority)
10	Sarwodhaya Mawatha	0.6	9	Municipal Council Kurunegala
11	Sumanadasa Mawatha	0.5	9	Municipal Council Kurunegala
12	Hena mulla Mawatha	2.1	12	Pradeshiya Sabha Kurunegala Municipal Council Kurunegala
13	Alakoladeniya Road	2.6	9	Pradeshiya Sabha Kurunegala
14	Kuda Galgamuwa	1.3	12	Provincial Road Development Authority
15	Sundarapola Road	1.5	9	Pradeshiya Sabha Kurunegala
16	Wewa Rauma Para	3.3	12	Road Development Authority

Source: Urban Development Authority North Western provincial Office, 2020

■ **Surrounding Land-uses**

Mixed Development

■ **Project Objectives**

- Upgrading the residential development in the internal areas of the town.
- Expand the urban developments to internal areas instead of the main roads.
- Development of better connectivity between main roads and internal roads.

■ **Project Rational**

It has the ability to increase the movements in the internal town area by widening the roads, developing the underdeveloped roads and connecting the roads. The development around the available main roads can be directed to the internal areas through this project. The residential population also increases by enhancing accessibility.

■ **Project Duration**

Middle Term

■ **Financial Method**

Municipal Council, Pradeshiya Sabha, Provincial Road Development Authority, Road Development Authority

■ **Present land ownership**

Private and government lands

■ **The proposed plan and building planning require**

ments. Surveyor Plan, Drainage Designs of Land Reclamation and Development Corporation

■ **Project Work**

Planning the project, Land acquisition. Road development.

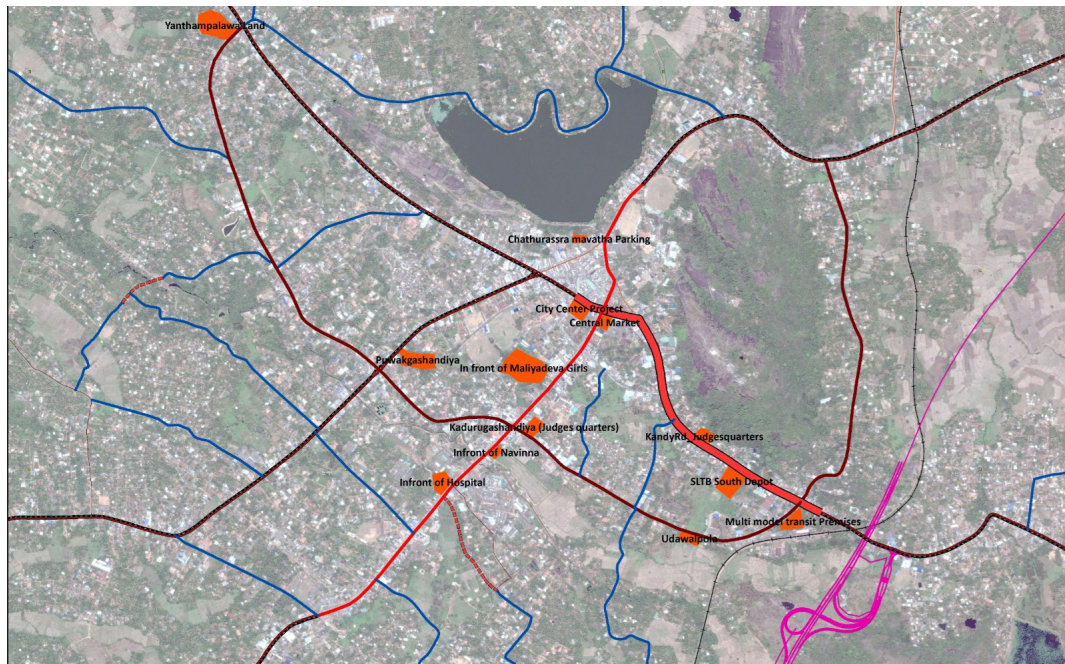
■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Planning the project Land acquisition Road development	Road Development Authority Urban Development Authority	The Provincial Director - North Western, The Director-Provincial
	Provincial Road Development Authority Kurunegala Municipal Council Kurunegala Pradeshiya Sabha	Mayor, The Chairman

6.6.6 Project 05

Development of Public Parking Areas.

- **Project Proposal**
Identified and develop the Public parking areas
- **Project Plan**



Source : Urban Development Authority North Western provincial Office , 2020

■ Proposed areas for private vehicle parking

Location	Land extent (Acre)	Parking Lots
Vehicle parking complex in town center	1	400
Central Market	1	100
Multi-model transport hub parking bay	1	300
Udawalpola	1	100
Kandy Road (Judge bungalow)	1	100
Kadurugas junction	0.5	50
In front of the Nawinna Hospital	0.5	50
In front of the Teaching Hospital	0.5	50
Puwakgas junction- In front of the Divisional Secretariat office (Land of Ethkan- daViharaya)	1	100
Proposed vehicle park in Square Road	0.6	60
Abandund paddy land in front of Maliyadewa girls college	1	100

- **Objectives**

Reduction of traffic congestion by providing vehicle parking areas for high density commercial development zones.

- **Project Rational**

By providing vehicular parking areas for high dense commercial development, hope to reduce available traffic situations which are occurring due to vehicle parking on either side of the roads. It may lead to efficient functionality of the city.

- **Approval Agencies**

Municipal Council, Urban Development Authority, private investors

- **Ownership Details**

Government and private lands

- **Project Duration**

Short term

- **Financial Method**

Treasury ,Urban Development Authority, Municipal Council, Private investments

- **Implementation Method**

Private Public Partnership (PPP)

- **Existing Condition**

Mixed development

- **The proposed plan and building planning requirements.**

Building Plan, Surveyor Plan, Drainage Designs of Land Reclamation and Development Corporation

- **Project Work**

Construction of public parking spaces

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land acquisition	Urban Development Authority	The Director (Lands)
Road development	Urban Development Authority Municipal Council	The Director (Lands) Mayor / Commissioner

- **Guidelines**

It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

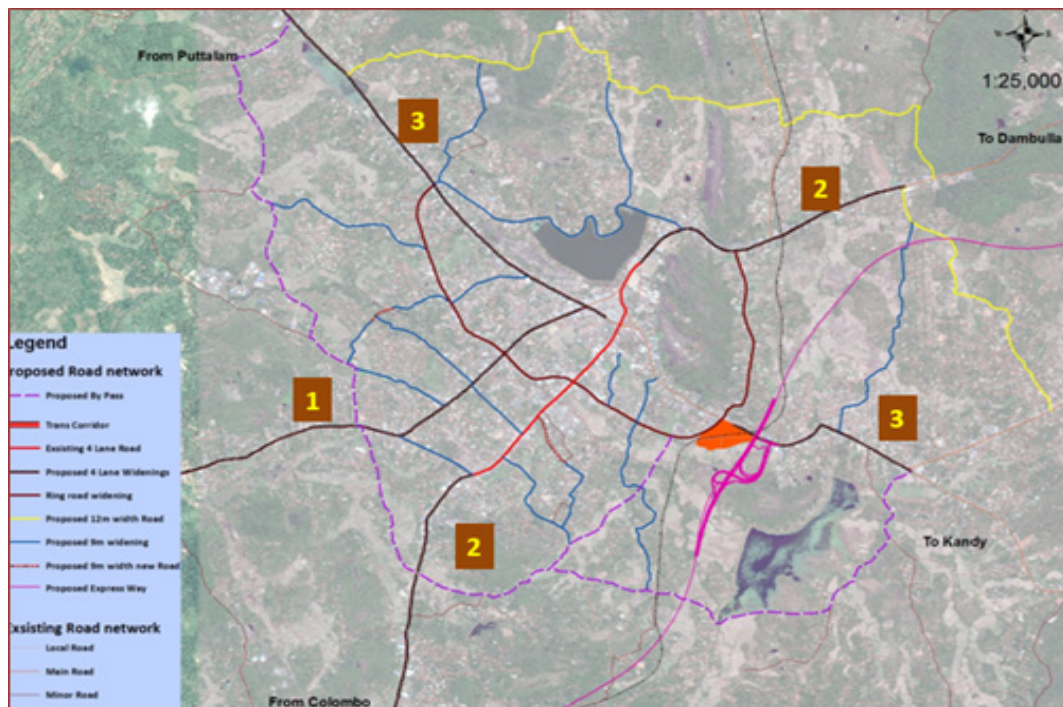
6.6.7 Project 06

Widen the Roads of Road Development Authority

■ Project Proposal

Development of four lanes for identified places in main roads to minimizing the traffic congestion in the town.

■ Project Plan



Source: Urban Development Authority North Western provincial Office, 2020

	Road Name	Origin and Destination Point	Road Expansion (K.M)	Proposed Width (m)
1	B 247 Kurunegala to Negombo Road	From Kurunegala to Gepallawa	5.27	24
2	A6 Ambepussa – Kurunegala Trincomalee Road	From Regland watta to Wehera From Polattapitiya to Badalgamuwa	3.5 2.93	24 24
3	A6 Katugasthota-Kurunegala Puttalam Road	From Mallawapitiya Junction to Kurunegala town via Thiththawella.	07	24

■ **Project Objectives**

Minimize the traffic congestion which is occurred both proposed expressway project and existing traffic jam in city center.

■ **Project Rational**

Kurunegala Junction is a national level junction and there should be properly connecting the road networks by providing easy/comfortable accessibility. Currently, the road design capacities have exceeded the favorable level and exceeded the level of services also. Therefore, main roads and other connected roads should be expanded according to the requirement.

■ **Project implementation**

Road Development Authority

■ **Ownership Details**

Government and private lands

■ **Project Duration**

Middle Term

■ **Financial Method**

Road Development Authority

■ **Existing Condition**

Road Development Authority, 2 Lane road

■ **Project Works**

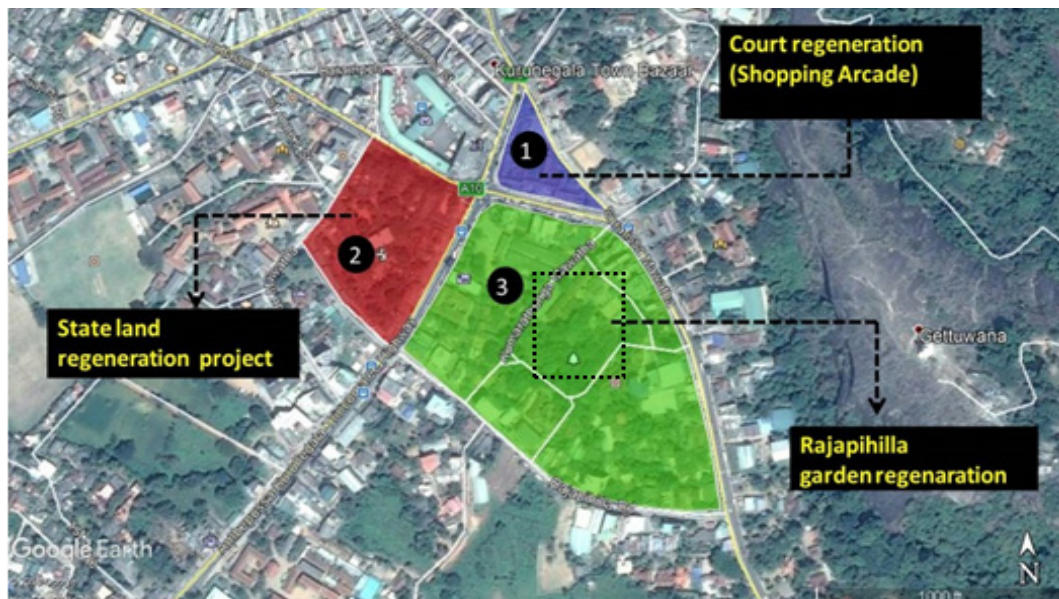
The selected four roads to expand as 24m width roads.

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land acquisition	Road Development Authority	The Director-North Western
Road development	Road Development Authority	

6.6.8 Project 07 - Redevelopment of Rajapihilla Garden

- **project proposal**
Redevelopment of Rajapihilla Garden Providing Modern Facilities and Open-up to Town Center.
- **Access**
Kumarathunga Road, Rest road
- **Project Plan**



Source: Urban Development Authority North Western provincial Office, 2020

- **Project objectives**
 - Provide spaces for the recreation facilities and public rest.
 - Creating the Kurunegala town as the pleasant place for residential and daily commuters.
 - The hidden features and the identity of the city open-up to the town center by preserving the historical identity.

■ Project Rational

At present, the Rajapihilla Garden is not in use. Though it is valuable land in the core town area, now abundant due to the poor maintenances. This place has been identified to development integrate with Clock Tower and Rajapihilla Rest house. Then it can be reached easily from the core town area and they proposed to develop this as a recreation area by providing resting facilities. This helps to keep the good mental condition for the community as a busy town center and increasing the attractiveness of the public.

■ Project Description

Regeneration the park with new infrastructure facilities

- **Land Ownership** : M.C Kurunegal
- **Project duration** : Short term
- **Financial method** : Municipal Council, Government Treasury
- **Present condition** : Underutilize Park
- **Project concept**



Source : Urban Development Authority North Western provincial Office , 2020

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Designing the park	Urban Development Authority	The Director-North Western
Develop the park	Municipal council	The Mayor/Commissioner

■ Guidelines

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.9 Project 08

■ project proposal

Redevelopment of the Town Center (Development of Commercial, Office and Residential Complexes in Middle of the Town - Mihindu Mawatha)

■ Access - Puttalam Road, Mihindu Mawatha and Colombo Road

■ Project Location

Location	Province	North Western	District	Kurunegala
	DS Division- Kurunegala	Divisional Secretary- Kurunegala		
Boundary	North	East	South	West
	Puttalam Road	Colombo Road	Convent Road	Mihindu Mawatha

■ Project Plan



Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding Land-uses:

Located in front of Kurunegala Bus Stand.

■ Type of the Project

Economic Development Plan

■ Project Objectives

- The Economic development of the town by providing opportunity to existing commercial demand.
- To provide the optimum services to the people by centralized the national and provincial administrative services.

■ Project Rational

There are single-storey government offices, official quarters are located a valuable land in the core town area and most of the buildings are crumbling. Hence this land can develop to target the optimal usage with available demand. According to this project, all the government offices bring to one administrative complex, in order to efficiently the services. It will able to attract a high amount of commuting population also.

■ Present Condition of the Land

single-storey government offices in underdeveloped manner. Some of the police quarters are crumbling. There are unsuitable uses for a core town area such as Prison.

■ Land Ownership Details

<u>Authority</u>	<u>Land Extent</u>
Sri Lanka Police	434 perch
Postal Department	77 perch
Prison	52 perch
Road Development Authority	267 perch
Urban Development Authority	94 perch

■ Project Duration

Long Term

■ Total Estimated Cost

Rs.1000 (Million)

■ Financial Method

Implemented as a private and state collaborative project involving local and foreign investors and Urban Development Authority.

■ Project Description

It is proposed to develop the vertical Commercial, Offices and Residential development in 7 Arce land which belongs to the Road Development Authority, Urban Development Authority, the Police Department, Postal Department and Prison. The proposed project is to be implemented under several stages.

- Regeneration of the police station and police quarters into senior police superintendent office land which locates in Colombo Road.
- Relocate the prison into Gettuwana court complex land
- To construction of proposed Commercial, Office and Residential Complex.

Stage 01 - 16 storey residential and administrative complex

Relocate all scattered offices including Road Development Authority, Housing Development Authority and Urban Development Authority into one location (Vehicle Parking 250, office spaces 18000 sq.m, Housing units 140)

Stage 02 - 08 storey Commercial Building and vehicle parking places (400 parking lot, commercial space 24200 sq.m.)

Stage 03 – 20 storey building including Hotel and Museum (200Rooms, 950 Parking lots)

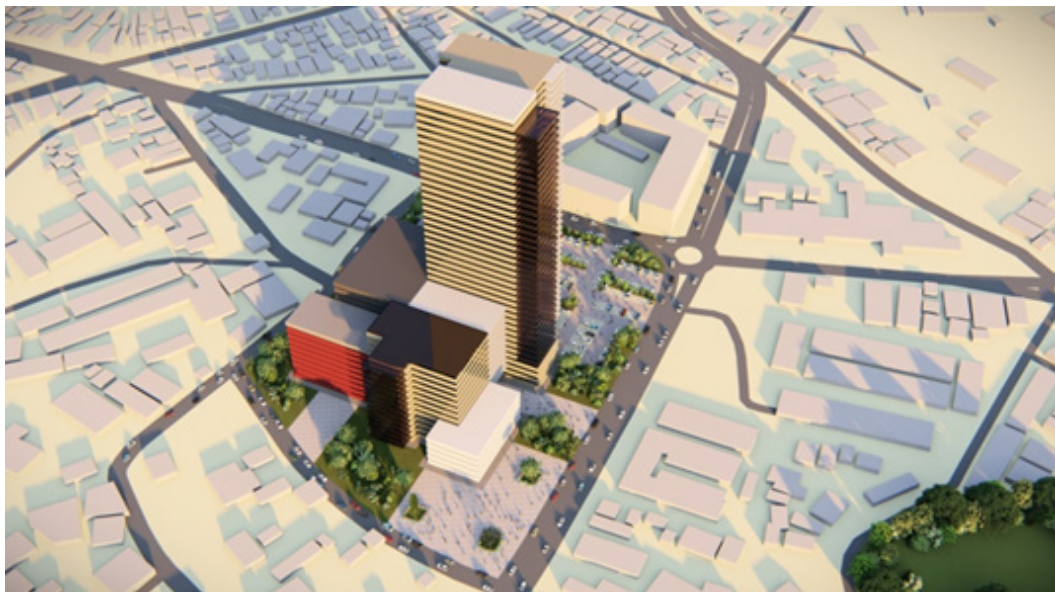
■ Existing Infrastructure Facilities

Water, Electricity

■ Existing Condition

Police station and Police Quarters, Road Development Authority, Road Development Authority Executive Engineer's Office, Housing Development Authority, Prison, Postal Department Building

■ Layout Plan



Source : Urban Development Authority North Western provincial Office , 2020

- **Project Duration** Long term
- **Financial Method** From the government Treasury, Urban Development Authority Local and foreign investment

- **Project Works**

Land Acquisition

1. Stage Development - Administrative and Residential Building
2. Stage Development - Commercial Building
3. Stage Development - Hotel Building

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land acquisition	Urban Development Authority District Secretary office DS office Sri Lanka Police Department Post Department Prision Department Road Development Authority N.H.D.A	The Director(Land) Districtl Secretary Divisional Secretary
Land develop	Urban Development Authority,	The Provincial Director

- **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.10 Project 09

Develop the Old Rajapihilla Rest House

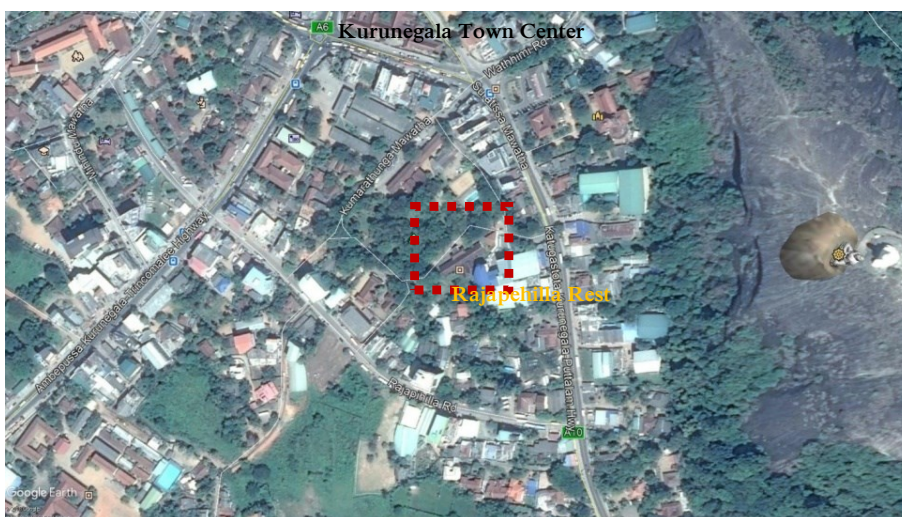
- **project proposal**

Develop the Old Rajapihilla Rest House as a 50 room hotel.

- **Access**

Rest house Road

- **Location Map**



Source : Urban Development Authority North Western provincial Office , 2020

- **Surrounding land-uses**

Rajapihilla Garden, Attorney's office building, mixed development with commercial use

- **Type of the Project**

Economic development Plan

- **Project Objective**

Providing essential luxury hotel facilities in to the city.

- **Project Rational**

Presently, there are no adequate facilities for tourists such as accommodations, food and beverage in Kurunegala town. This Rajapihilla Garden is locate a tranquil environment and there are enough spaces also. This is highly accessible place in the core town area.

■ **Ownership Details**

Kurunegala Municipal Council

■ **Project Duration**

Middle Term

■ **Financial Method**

Kurunegala Municipal Council, Private investments

■ **Project Description**

Regenerate as a luxury hotel including 50 rooms in the old Rajapihilla rest house area by preserving the historical character.

■ **Project History**

This project has identified by the Kurunegala Municipal Council

■ **Present Condition**

There is an Old Rajapihilla Rest house

■ **Project Cost**

350 Million

■ **Project Works**

- Protecting the old building structures in rest houses.
- Develop a hotel with 50 rooms

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Development of lands	Urban Development Authority, Municipal Council Local and foreign investors	Provincial Director Mayor/ Commissioner

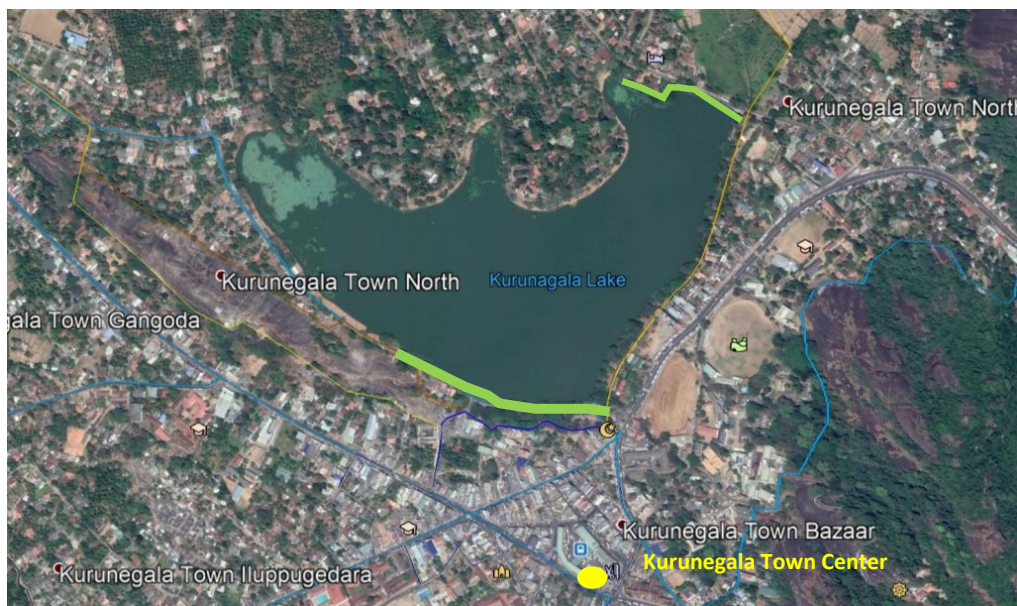
■ **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.11 Project 10

Kurunegala Lake Landscaping Stage iii

- **project proposal**
Kurunegala Lake landscaping with walkable ways
- **Access**
Kurunegala- Dambulla and Kurunegala Puttalam
- **Location Map**



Source: Urban Development Authority North Western provincial Office, 2020

- **Surrounding land-uses**
Belong to Kurunegala Tank Reservation
- **Type of the Project**
Infrastructure
- **Project Objective**
To make recreation facilities and premises for people who living in the city as well as commuters
- **Project Rational**
The city of Kurunegala has been identified as a population attraction city through the Urban Development Plan and it is estimated that the circulating population will reach 500,000 by 2030. Accordingly, the Kurunegala Lake area is a suitable area to develop as a leisure and recreation area for them.

■ Ownership Details

Kurunegala Municipal Council

■ Project Duration

Middle Term

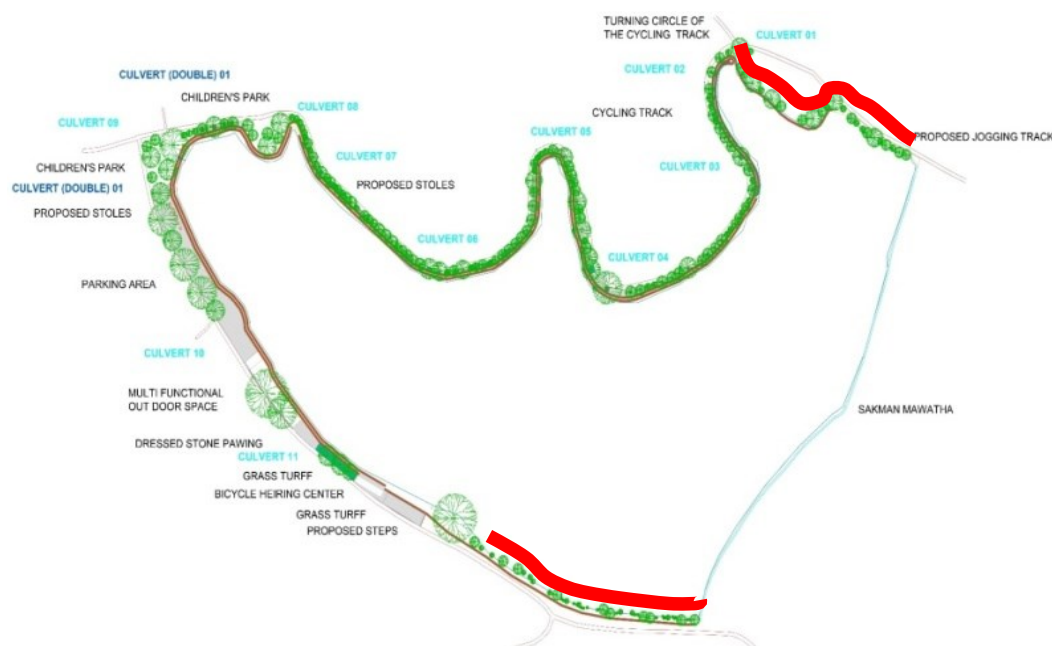
■ Financial Method

Treasury fund

■ Project Description

- Construction of retaining wall around the tank.
- Preparation of walking lanes,
- Installation of benches for resting
- Preparation of exercise areas.
- Lighting

■ Project Concept



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Preperation of plan and devel- opment works	Urban Development Authority,	Provincial Director Mayor/ Commissioner

6.6.12 Project 11 - Court regeneration.

■ project proposal

Relocate the Court Complex, Prison, Judicial Quarters and Attorney Office Complex to the Gettuwana Proposed Court Complex Area.

■ Access

Gettuwana Circular Road

Location	Province	North Western	District	Kurunegala
	DS Division-Kurunegala	Divisional Secretary-Kurunegala		
Boundary	North	East	South	West
	Municipal Road	Fields	Municipal Road	Gettuwana Circular Road

■ Location Map



Source: Urban Development Authority North Western provincial Office, 2020

■ Surrounding Land-use

Mixed Development Project (Residential and Government Offices)

■ Type of the Project

Economic development Plan

■ Project Objectives

- Relocate the Court complex with supportive activities such as, court complex, attorney offices, judicial quarters, prison.
- Converted to optimum utilization for the land which government quarters have in dilapidated condition

■ **Project Rational**

Today, the court has been established in an unsuitable location in the core town area. Here proposed to relocate the court complex in Gettuwana area and the releasing land in core town area will develop as an attractive development according to land demand.

■ **Details of Survey Plan**

Survey Plan No.	Name of the Surveyor	Date	Land Extent
Kurunegala D.S No. 8/36/12 and 199	Government Surveyor		10 Acres

■ **Project Duration**

Long term

■ **Financial Method**

Government Treasury - Foreign debt

■ **Project Description**

- Court Complex - The five-storey court complexes including District Court, High Court, Court of Appeal, etc.
- Judicial Quarters - Relocate the 04 Judicial Quarters in the Kurunegala town.
- Attorney Office Complex - Relocate the Attorney office complex in the Municipal Council LandGovernment quarters Complex-It is proposed to construct 02 main 10 storey housing Complex consisting 200 quarter and it is proposed to provide 60 houses to the District secretary from the existing quarters.
- Prison Detention camp - Relocate the prison detention camp in the town center.
- Banks and other commercial activities
- Leisure and entertainment, car parking facilities

■ **Existing Condition**

The project report has been sent to the District Secretary to obtain this land by the Urban Development Authority.

■ **Present land-use**

There are 26 quarters of more than 100 years old. There are 40 to 80 perches of land extent per housing unit. There is not much residence in the present-day due to dilapidated condition.



Source : Urban Development Authority North Western provincial Office , 2020

■ Layout out



- | | |
|------------|--|
| I | |
| 1. | 5 storey Court Complex |
| 2. | Construction of public parking. |
| 3. | Bank and Sub-post |
| 4. | Prison Detention camp- |
| 5. | Police Post |
| 6. | Attorney Office Complex |
| 7. | Mini super market Complex |
| II | |
| 1. | Housing Complex of 200 Housing Units (Provision of 60 housing units instead of government quarters and construct houses considering the future demand) |
| 2. | Public Parking |
| 3. | Parks |
| III | |
| 1. | Judicial Quarters |

■ Proposed Plan



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Land acquisition	District Secretariat, Divisional Secretariat, Urban Development Authority	District Secretary, Divisional Secretary,
		The Director (Land), Land Commissioner
Relocate the Court and offices	Urban Development Authority, Government	Ministry of Justice, Provincial Director, Urban Development Authority
Commercial Development	Urban Development Authority	The Provincial Director,
Housing development	Urban Development Authority	The Provincial Director

■ Guidelines

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.13 Project 12

Development of the Central Market Area in the Middle of Town

- **Project Proposal**

The current central market area develop as a mixed development project consist of commercial complex, hotels and residential towers.

- **Access**

Colombo-Kurunegala Road

- **Location Map**



Source : Urban Development Authority North Western provincial Office , 2020

- **Surrounding Land-uses**

Commercial

- **Type of the project**

Economic Development Plan

- **Project Objectives**

Development of Public market area (currently underdeveloped area) to get the optimal usage.

- **Project Rational**

Regenerate and open-up the Clock tower, Public Market, Rajapihilla Park, Rest House, Attorney's office to the town center while preserving the identity of the town. It will provide the required commercial facilities to the predicted residential population and daily commuting population.

- **Present land-use Details**
Old Market building is old more than 100 years.
- **Ownership Details**
Municipal Council
- **Project Duration**
Middle Term
- **Financial Method**
Municipal Council, Private Investors
- **Project Description**
 - 15 storey Commercial buildings - 24000sqft.
 - 15 storey Apartment complex - 60000sqft.
 - Hotel complex - 60000sqft.
 - Development a building for 125 traders.
- **Existing Infrastructure Facilities**
Water, Electricity
- **History**
This project has identified by the Kurunegala Municipal Council
- **Present Condition**
100 years old market building
- **Project Activities**
Construction of Buildings
- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Design and Development	Municipal Council Private investment	Mayor/ Commissioner

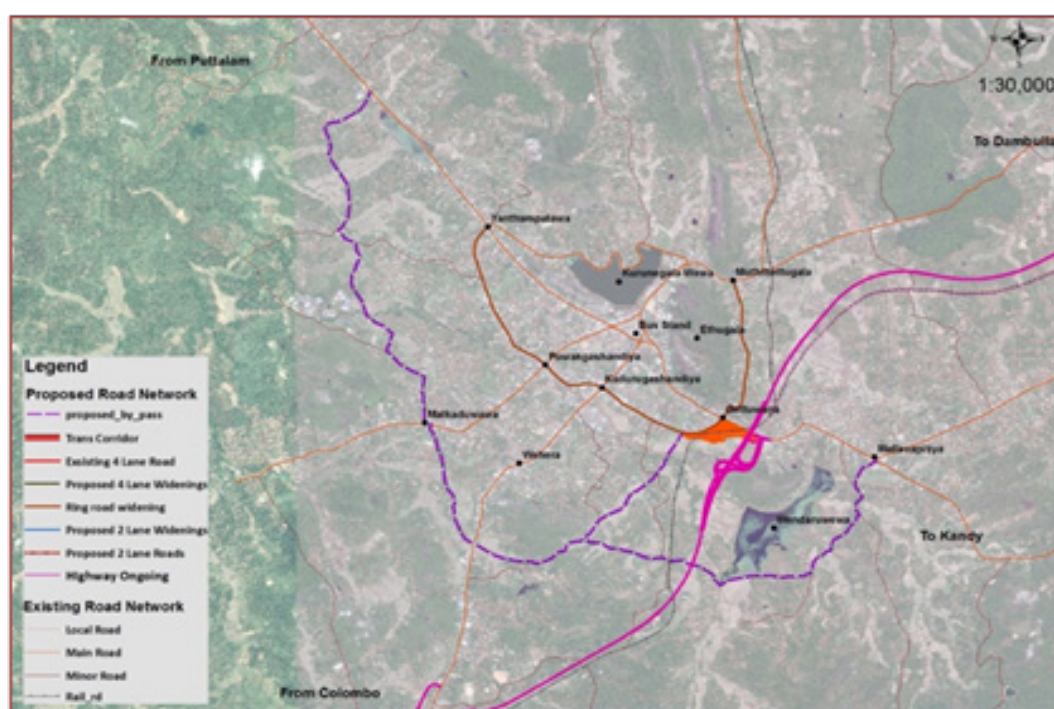
6.6.14 Project 13

Development of B 084 Road by Development Authority Road

■ Project Proposal

Develop as a 24m width, 4 lane road from Yanthampalawa to Gettuwana (Wilgoda Road, Boudhaloka Road, Southern circular Road, Muththettugala Road)

■ Project Plan



Source : Urban Development Authority North Western provincial Office , 2020

■ Project Description

Origin and Destination	Length (Km)	Proposed width (m)	Cost (Million)
From Yanthampalawa to Gettuwana (Kanduruga junction , via Puwakgasa junction)	4.67	24	250
Gettuwana to Muththettugala	1.88	24	50

■ Type of the Project

Transport Plan

- **Project Objectives**

Reduce the traffic congestion in town area.

- **Project Rational**

This project will minimizes the traffic congestion in the core town and improve the mobility.

- **Project Duration**

Middle Term

- **Financial Method**

Road Development Authority

- **Project Description**

Develop as a 24m width 4 lane road from Yanthampalawa to Gettuwana, from Gettuwana to Muththettugala

- **History**

This project was proposed by the Road Development Authority

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Road Development (as a 4 lane)	Road development Au- thority	The Provincial Director

- **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.15 Project 14

Land Development project for new town development

■ Project Proposal

Directing the new town development of low-lying landfills in the city center



Source : Urban Development Authority North Western provincial Office , 2020

■ Type of the Project

Physical development

■ Project Objectives

- Providing necessary facilities for exercise, leisure and recreation for the urban people
- Provision of urban space in connection with the expansion of the city
- Creating a healthy environment by preparing a systematic drainage plan.

■ Project Rational

This project is a very important project for the people living in future high rise residential units. It will be connected to the new transport city of Gettuwana from near the Teaching Hospital on the Colombo Road in Kurunegala and this project will also provide the land required for the implementation of big projects with urbanization.

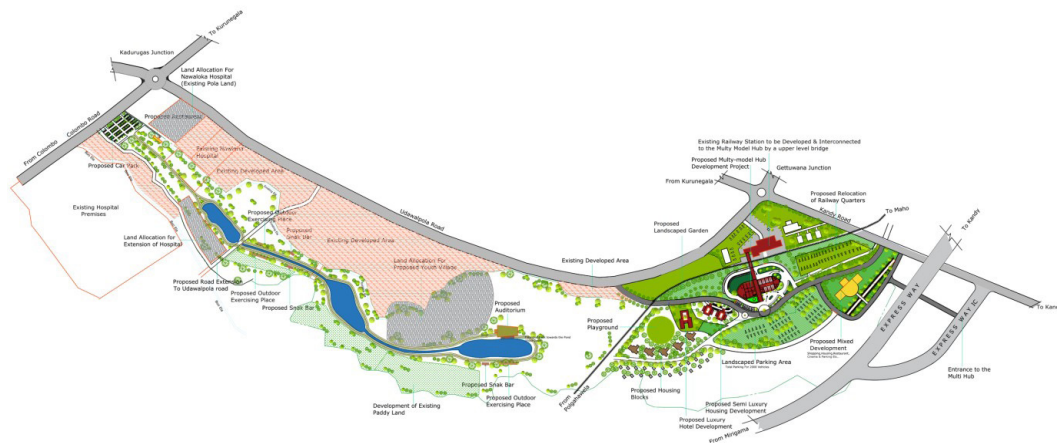
■ Financial Method

Urban Development Authority/ Tresury

■ Project Description

Acquisition of Lowland

■ Project Concept



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Land acquisition and Development	Urban Development Authority	The Director(provincial)

■ Guidelines

Paddy reclamation and development should be done in accordance with the drainage plan

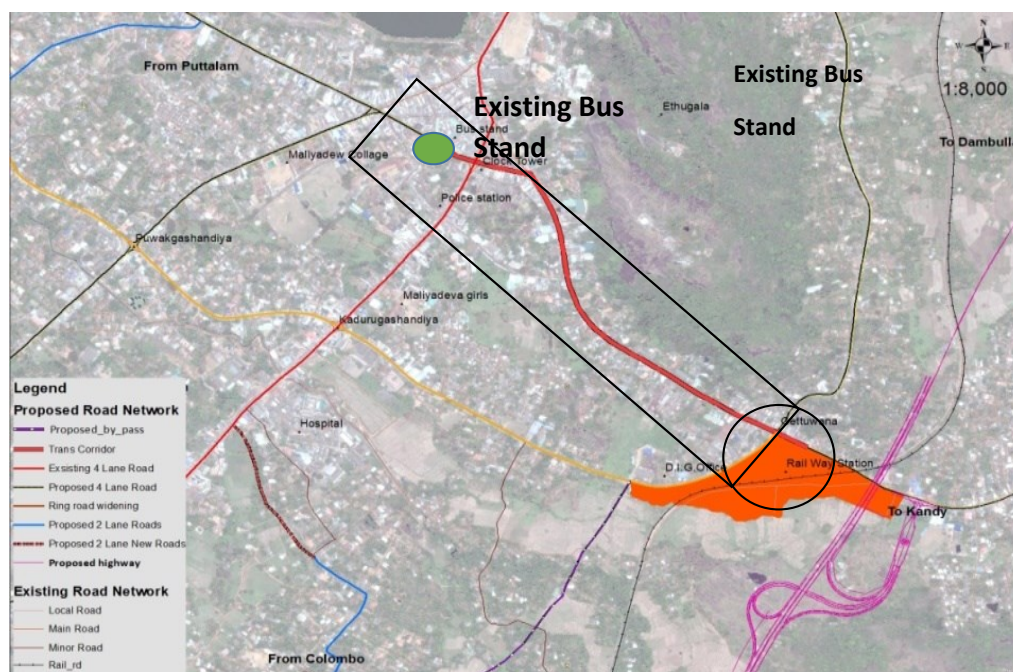
6.6.16 Project -15

Development of Transport Corridor

■ Project Proposal

Development of A10 road as a six lane road form Gettuwana Multi-modal Transport Hub to Main Bus Stand.

■ Project Location



Source : Urban Development Authority North Western provincial Office , 2020

■ Type of the project

Transport Plan

■ Project Objectives

- Minimize traffic congestion between the Gettuwana and Mallawapitiya Junction due to the Expressway.
- To develop the easy access to people who are obtaining the facilities form the multi-modal transport hub. To built an efficient connection between expressway interchange and the main bus station.

■ Project Rational

There is a huge traffic congestion in A10 road due to the entry and exit of the vehicles through proposed expressway. The distance between the main bus stand and express interchange is about 1km. It is essential to

widen the road as a six lane route for making the transport in an efficient, between the expressway interchange and the main bus station. This road provides the main access to the Kurunegala town to Gettuwana, therefore high level of service should be provided.

■ **Project Duration**

Middle Term

■ **Financial Method**

Road Development Authority

■ **Project Description**

The development of the Katugasthota-Puttalam Road (A10) as a six-lane road from Gettuwana Multi-modal transport hub to Bus stand in the town center.

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land acquisition and Development	Road Development Authority	The Director(provincial)

■ **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

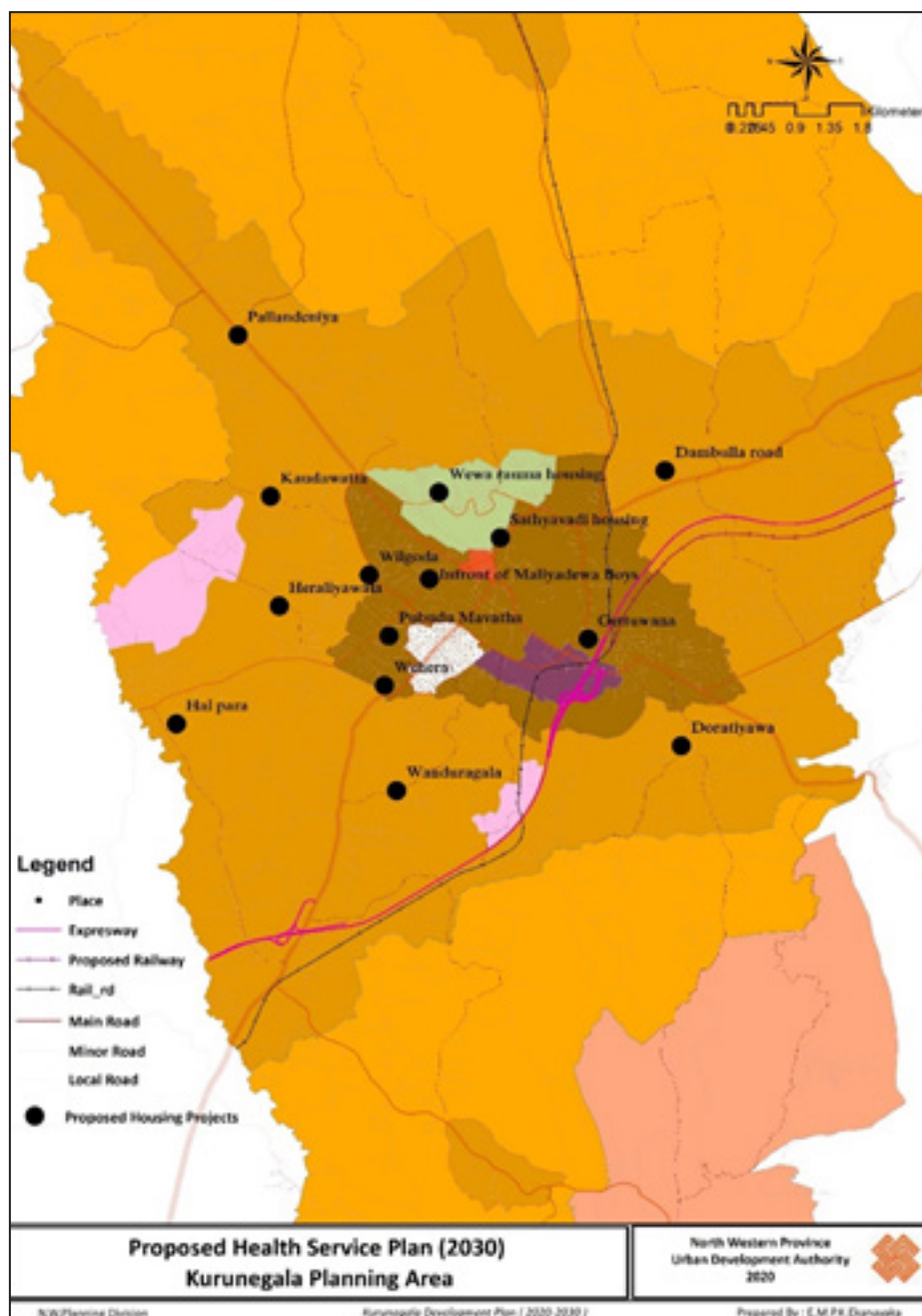
6.6.17 Project 16

Land Acquisition for Housing Development Projects

■ Project Proposal

Identification of the required lands for housing development projects for residential development in the high density zone.

■ Project Plan



Source : Urban Development Authority North Western provincial Office , 2020

Place	Land Ex-tent	Housing Requirement				
		Land Ownership	Low income	Middle income (low)	Middle income	Luxury
Pelandeniya Gonnagama junction housing project	03	Private			375	250
Doratiyawa housing project	05	Private		100	450	250
Dambulla Road housing project	02	Private		90	90	
Wewerauma housing project	12	Government			650	500
Gettuwana housing project	05	Government		150	150	50
Sathyawadi housing project	0.5	Private				200
Heraliyawala housing project	02	Government		600		
Halpara housing project	15	Government		950	500	
Wilgoda housing project	02	Government	500			
Kaudawatta housing project	04	Private		300	300	
Waduragala housing project	02	Private		450		
Wehera , MC Land	1.5	Government	200			
M.C Land Near Cemetery	0.5	Government	50			
Land Infront of Boys	0.5	Government		30		
Total	53.25		750	2670	2515	1300

■ Project Description:

Suitable lands for housing projects have been identified and those lands are acquire and development, then hand over to the private investors for housing project.

■ **Project Objectives**

Implementation of multi-storey housing projects to fulfill the housing requirement for 2030.

■ **Project Rational**

This plan will attract a high residential population with the proposed development activities by the year 2030. The objective is to attract a large residential population through vertical developments, due to lack of lands for horizontal developments.

■ **Financial Method**

Urban Development Authority, Private Investors

■ **Ownership**

Private, Plantation companies

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land acquisition and Development	District Secretariat, Divisional Secretariat, Urban Development Authority	District Secretary, Divisional Secretary, The Director (Land), Provincial Director
	Authority National Housing Development Authority	
Land development	Urban Development Authority Housing Development Authority Condominium development Authority	Provincial Director

■ **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.18 Project 17

Old Court Complex Develop as Shopping Complex.

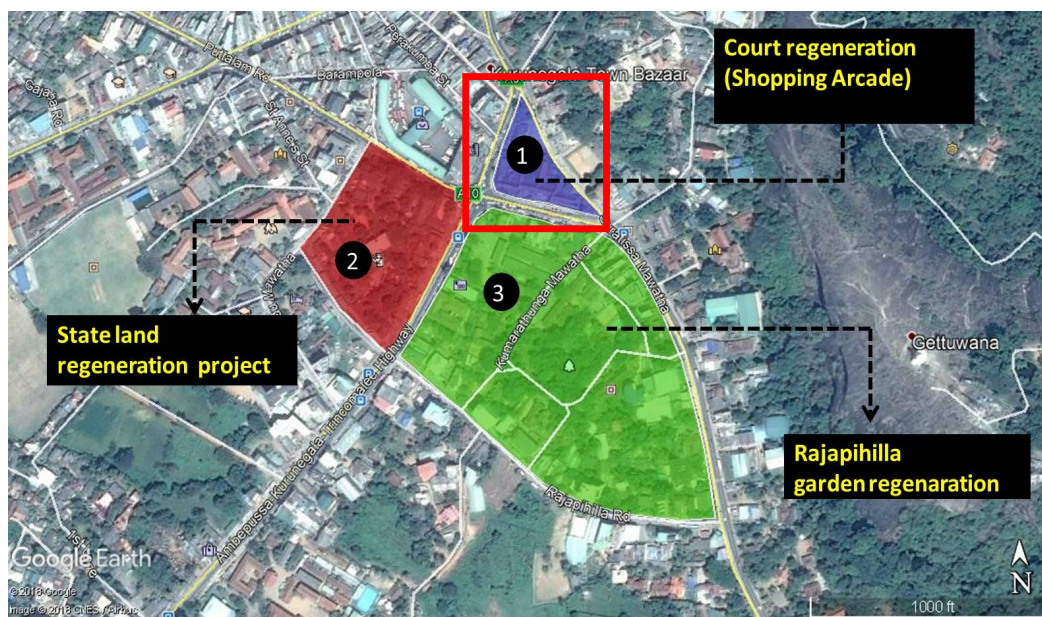
■ Project proposal

Relocate the Court Complex, Attorney office building to the outside of town center and releasing buildings (court complex) in core town area convert as a Commercial development.

■ Access

Katugasthota - Puttalam Road and Ambepussa - Trincomalee Road

■ Location Map



Source: Urban Development Authority North Western provincial Office, 2020

■ Surrounding Land uses

This land is located in the middle of the city, this area is high-dense commercial development area and it bounded with Kurunegala Bus Stand, Public Market, Government Offices.

■ Type of the project

Economic Development

■ Project Objectives

- Develop for urban activities the court building while preserving its historical character because this is an old archaeological building.
- Development activities are carried out in protected scenic view of Ethugala, in the town center.
- To minimize the congestion in the city while facilitate urban recreational and leisure activities.

■ **Project Rational**

Develop the court premises as single storey (Arcade) shopping complex (conserving of single storey) while preserving the visibility of 'Ethugala' because it provide an identity to town center.

■ **Financial Method**

Urban Development Authority, Private investments

■ **Project Description**

Make the area comfortable for daily commuting population, by developing commercial complex, vehicular parking areas and urban recreation parks.

■ **Existing Building Condition**

The Court Building has been gazette as the conservation building of Department of Archeology in 2009.

■ **Present Condition of the land**

The four main courts of; the Magistrate's Court, the District court, the Judicial Labor Court and the High Court are operating in this building. In addition to that Attorney's office building is located in Dharmapala Park (about 25 perch area).

■ **Present Condition of the land**



Source : Urban Development Authority North Western provincial Office , 2020

■ **Proposed Plan & Building Design Requirements (if available))**

- The preparation of the Layout plan for building with preserving the historical value of the existing conservation building and develop facilities such as parks and parking areas for commuting population to create an attractive location.
- Obtaining consultancy from the Department of Archeology.

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Land acquisition and vesting	District Secretariat, Divisional Secretariat, Ministry of justice Urban Development Authority	District Secretary, Divisional Secretary, Secretary of the Ministry of Justice The Director (Land), Provincial Director
Land development	Urban Development Authority	Director (North Western)

■ Guidelines

- Redevelopment of the archaeological building having guidance of Department of Archeology for preserve the historical value of the building.
- Developments should be conducted by preserving the visibility of 'Ethugala', to the town center.
- Boundary walls should not be constructed.

6.6.19 Project 18

Development of the Bus Parking Bays for the Private Buses

■ Project Proposal

Development of the bus parking bays for the daily arrival private buses

■ Project Plan



Source : Urban Development Authority North Western provincial Office , 2020

Location	Land Extent (Arce)
Land belongs to Southern De-pot	2
Yanthampalawa Land	1

■ Project Details

Development of the bus parking bays in above locations.

■ Project Objectives

Providing parking areas to private buses which are parking in irregular way until its turns come.

■ Implementing Agencies

Sri Lanka Transport Board, The Transport Authority, The Municipal Council, Urban Development Authority

■ Project Duration

Short Term

■ Financial Method

The Municipal Council, Urban Development Authority, Private investors

■ Project Activities

Land acquisition Construction of the bus parking bays

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Land acquisition and Land development	Urban Development Authority, Municipal Council Local and foreign investors	Provincial Director Mayor/Commissioner

■ Guidelines

- The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.
- It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.20 Project 19

Establishment of the Proposed Technical Research and Development Center @ Dorateiyawa Road

- **Project**
Develop the Technical Research and Development Center in Mallawapitiya around the Gettuwana Development center.
- **Project Proposal**
Acquisition and developing 13 Acre land in Mallawapitiya area and handover it to the investors.
- **Project Location**



Source: Urban Development Authority North Western provincial Office, 2020

- **Access**
Mallawapitiya- Katupitiya Road (Doratiyawa Road)
- **Surrounding land-uses**
Home gardening, Coconut garden
- **Type of project**
Economic Development Plan
- **Project Objectives**
Provide opportunities for innovation.
- **Project Rational**
As a result of the higher educational - qualified population in this region, it is possible to facilitate to create innovations through this technology and research center. It may leads to facilitate for an economic development in this area as well as the country.

- **Present Land Ownership**

Private

- **Project Duration**

Long Term

- **Financial Method**

Urban Development Authority, Funds, Private investments

- **Project Description**

Acquire lands and provide the necessary infrastructure facilities. After, lease to the investors for invest in university, technical colleges and vocational training institutes.

- **Present Condition of the land**

Empty Land

- **Project Activities**

- Land Acquisition
- Technical research locations, Technical Colleges, Canteen areas and Public Playgrounds
- Vehicle parking areas
- Construction of Residential facilities and Landscaping

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land acquisition	Urban Development Authority	The Director (Land)
Land development	Urban Development Authority	The Director (North Western Province)
Lease land to the investors	Urban Development Authority	The Director (Land)

- **Guidelines**

- The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.
- It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.21 Project 20

Develop the Welagedara International Cricket Stadium

■ Project Proposal

Redevelopments of Welagedara playground as an international stadium

■ Project Location

Location	Province	North Western	District	Kurunegala
	DS Division- Kurunegala	Divisional Secretary- Kurunegala		
Boundary	North	East	South	West
	Access road to the Ministry of Agriculture	Municipal Council	Baladaksha Mawatha	Dambulla Road
Access	Ambepussa- Trincomalee Road and Baladaksha Mawatha			

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding Land-uses

A mixed development area with government offices and commercial activities. The Municipal Council Ground - Maligapitiya is also located adjacent to this land.

- **Type of the project**

Economic Development Plan

- **Project Vision**

Development of Economic/Social/Physical infrastructure facilities

- **Project Object**

- Upgrade the available Welagedara playground as an international stadium

- **Project Rational**

Improve the economic benefits for the city and development of hotel facilities for players, enhance the tourist attraction through upgrading this playground as an international stadium.

- **Project Duration**

Long Term

- **Financial Method**

Ministry of Sports, Kurunegala Municipal Council

- **Project Description**

- ◆ Development of the international cricket stadium with all necessary facilities
 - ◆ Construction of the playground
 - ◆ Development of playground
 - ◆ Development of the Stadium and other related facilities

- **Project History**

This project was plan to implemented by the Ministry of Sports in 2014

- **Present Condition of the land**

- Cricket grounds, Indoor sports grounds, Swimming pool, Badminton, Tennis grounds are located.

■ Proposed Plan & Building Design Requirements (if available)



■ Approval Agencies

Activity	Relevant Authority	Authorized person
Construction of Stadium	Ministry of Sports	Secretary of Sports
Development of other facilities	Cricket Association	Cricket Associations

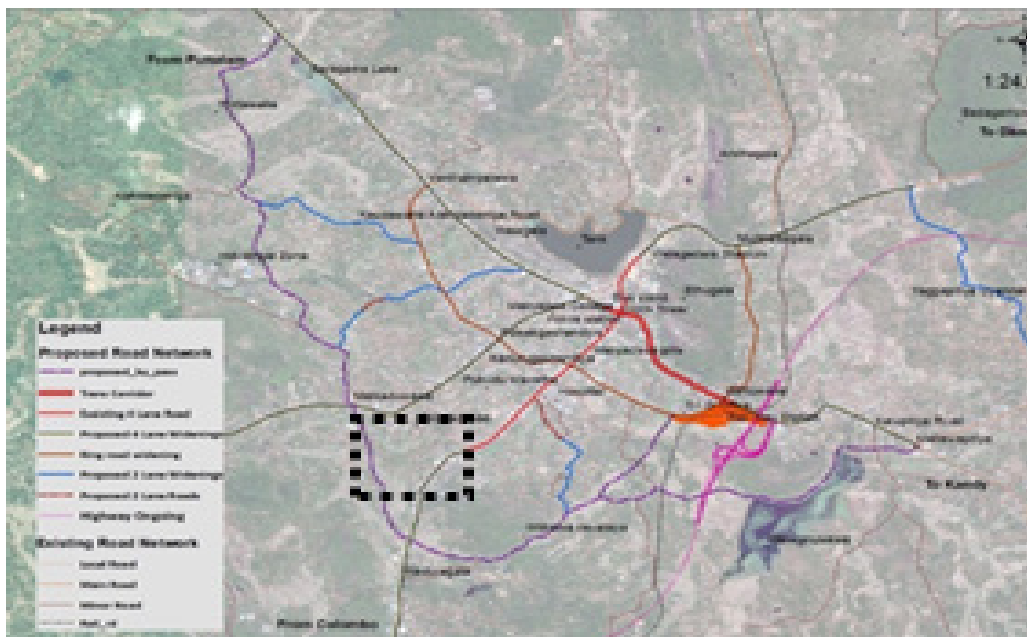
6.6.22 Project 21

IT Based Village – Malkaduwawa Area

■ Project Proposal

Handover to the acquired lands for rinvestors to develop an IT based village

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding Land-use

Residential

■ Type of the project

Economic Development Project

■ Project Vision

Development of Higher Education Facilities

■ Project Objectives

- To provide opportunities for tertiary education and job Opportunities considering the unemployment and higher computer literacy, Higher education level in this region.
- Strengthening the urban economy by stopping the brain Darian towards Colombo by establishing main IT hub in the northern zone of the Sri Lanka.

■ Project Rational

With the proposed central expressway it can be reach to the Kurunegala within one hour from the commercial capital Colombo. There is a high demand for IT based education and job opportunities, because of the demand for tertiary education in the town center, the high level of education of the people in catchment area etc. It has possibility to attract professionals and investors towards to Kurunegala because of the less land prices than the Colombo, availability of labour, possibility to get infrastructure facilities in an easy manner etc.

Accordingly, expecting to develop this area as Economic Growth Center with the development of an Information Technology Center, by enhancing the facilities such as commercial centers, accommodation facilities, hotels, vehicle parking areas, leisure parks and entertainment opportunities.

■ Project Duration

Long Term

■ Financial Method

Urban Development Authority/Private investors

■ Implementation of the project

- After the land acquisition handover to investors to construct universities, Information Technology Center, by providing supportive facilities such as commercial centers, accommodation facilities, hotels, vehicle parking areas, leisure parks and entertainment opportunities.
- Provide and encourage a concessionary period for tax concessions and debt repayment to investors.
- Issuing lands and building permits with a committee of experts while reducing the time lags.

■ Current usage of the land

here are isolated paddy fields without connecting to each other.

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Land acquisition	Urban Development Authority	Director (land)
Land develop-ment	Urban Development Authority Agrarian Services Department Land Reclamation & Development Corporation	Director (Provincial) Agrarian Commissioner, Director General (Land)

■ Guidelines

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.23 Project 22

The Proposed Mixed Development Project @ Fair Land

- **Project Proposal**

Replace the weekly fair in to the Wilgoda Municipal Council land and use the current fair land for a mixed development.

- **Access**

Kadurugas junction Gettuwana to Southern circular road

- **Project Location**



Source : Urban Development Authority North Western provincial Office , 2020

- **Surrounding Land-uses** Mixed Development (Commercial, private hospitals, residential etc.)

- **Project Objectives**

Development the present fair land as a Shopping complex, including Cinema, Restaurants and get the optimal utilization of the land.

- **Project Rational**

The existing fair only functioning two days per week. Hence, it has the capability of getting the maximum utilization from fair land, which is about 4 acres of a land with high commercial value. This proposed development is high efficiency due to this land is proximity to the Gettuwana interchange.

- **Ownership Development Details**

Kurunegala Municipal Council

- **Present Condition**

Fair building is located

- **Land Extent**

Acres 04

■ Project Duration

Middle Term

■ Financial Method

Municipal Council / Private Investments

■ Project Description

Development of supermarket complex with including Cinema, Restaurants and vehicle parking area as a joint project of municipal Council and private investors

■ Layout Plan



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Land acquisition	Urban Development Authority	Director (land)
Land develop- ment	Urban Development Authority Municipal Council	Provincial Director Mayor

■ Guidelines

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.24 Project 23

Housing Development Project for Low Income Families – Wilgoda

■ Project Proposal

This project will provide the housing facilities to the low income families who live in the high land value area in the city, and these lands uses for the optimal development activities.

■ Project Location

Location	Province	North Western	District	Kurunegala
	DS Division- Kurunegala	Divisional Secretary of Kurunegala		
Boundary	North	East	South	West
	Municipal Council Road	Municipal Council Road	Van Ela Road	R.D.A Road
Access	Wilgoda Circular Road (B084)			

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Project Vision

Development of Economic/Social/Physical infrastructure facilities

■ Project Objectives

Improving the living states and provide the houses facilities for the low-income community who are living near to town.

■ Project Duration

Middle Term

■ Financial Method

Kurunegala Municipal Council, Private Investors

■ Project Description

- Providing 500 of low income housing units from 02 housing complex (flats)
- Relocate fair (Which is currently available at Sothern circular road) to this land
- Remaining lands after the fair project implementation, handover to private investors for developments.

■ Project History

This project was proposed to implement before 2015 under the Colombo Urban Rehabilitation Project, Urban Development Authority. It was planned to operate 15 storey building as 02 building complex. Currently the project has stopped.

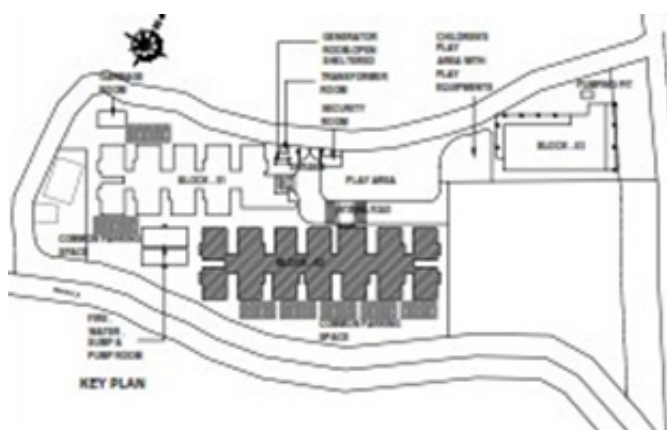
■ Present Condition

Urban sanitary workers are resident in this land and the amount of low income housing units increased up to 270 by today.



Source : Urban Development Authority North Western provincial Office , 2020

■ Project Concept



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Project Planning Construction of building Complex	Municipal Council Urban development Authority	Mayor/ Commisioner Provincial Director

■ Guidelines

- The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.
- It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.25 Project 24

Project of Preparing the Pedestrian Walk Ways

■ Project Description

Preparation of walkways for identifying areas of the roads with planting trees, guardrails on either side of the roads.

- Internal circular Road - B084 Road
- From Yanthampalawa to Mallawapitiya - A010 Road
- Wehera to Muththettugala - A006 Road
- Mihindu Mawatha
- Rajapihilla Road
- Surathissa Mawatha
- Waththimi Mawatha
- Kachcheri Road
- Dayas bend to Puttalam Junction -B247 Road

■ Project Objectives

- To make town as a comfort place for residential and commuting population.
- Reduce the temperature and air pollution in town center.

■ Land Ownership

Road Development Authority, Municipal Council, Urban Development Authority

■ Financial Method

Municipal Council, Urban Development Authority, Road Development Authority

■ Project Duration

Short Term

6.6.26 Project 25

Expansion the Coverage of Sewerage System for Mix development zone 01 and the 2

This project should be implemented by the National Water Supply and Drainage Board through the expansion of the Greater Kurunegala Water Supply and Sanitary Project.

6.6.27 Project 26

Relocate the Present Fair to the Municipal Council Land

- **Project proposal**

Relocate the fair into Wilgoda area, the land belongs to Urban Council. The available fair land developed as a mixed development project.

- **Project location**



Source : Urban Development Authority North Western provincial Office , 2020

- **Access**

Wilgoda Road (From Puwakkagas junction, Yanthampalawa Road)

- **Surrounding Land-uses**

Mixed Development

- **Present Condition of the Land**

Urban council labour low facility houses are located and boundaries with canal.

- **Type of the Project**
Economic Development Plan
- **Project type**
Relocation
- **Project Vision**
Development of Economic/Social and infrastructure facilities
- **Project objectives**
To maximize the use of the land in Wilgoda Municipal Council.
- **Project Rational**
Development of the present fair land as a Shopping complex, including Cinema, Restaurants and get the optimal utilization of that land. The relocation, land of the fair is properly functioning because this land also near to the town area.
(As a result of this fair only functioning two days per weeks, another five days cannot get the optimal usage from that land).
- **Ownership Details**
Kurunegala Municipal Council
- **Project Duration**
Short Term
- **Financial Method**
Municipal Council
- **Project Description**
This land is occupied by the urban labor houses (low income houses). Here proposed to develop 500 houses for low income communities with construct a residential flat. Rest of 2-acre land area being used for the fair construction and vehicle parking area.
- **Layout Plan**



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Relocate Fair	Municipal Council Urban Development Authority	Mayor /Commissioner Director (North western)

■ Guidelines

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.28 Project 27

Redevelopment the Wilgoda Sluice

This project should be implemented by Provincial Irrigation Department.

6.6.29 Project 28

Redevelop the Police and Police Quarters

■ Project Proposal

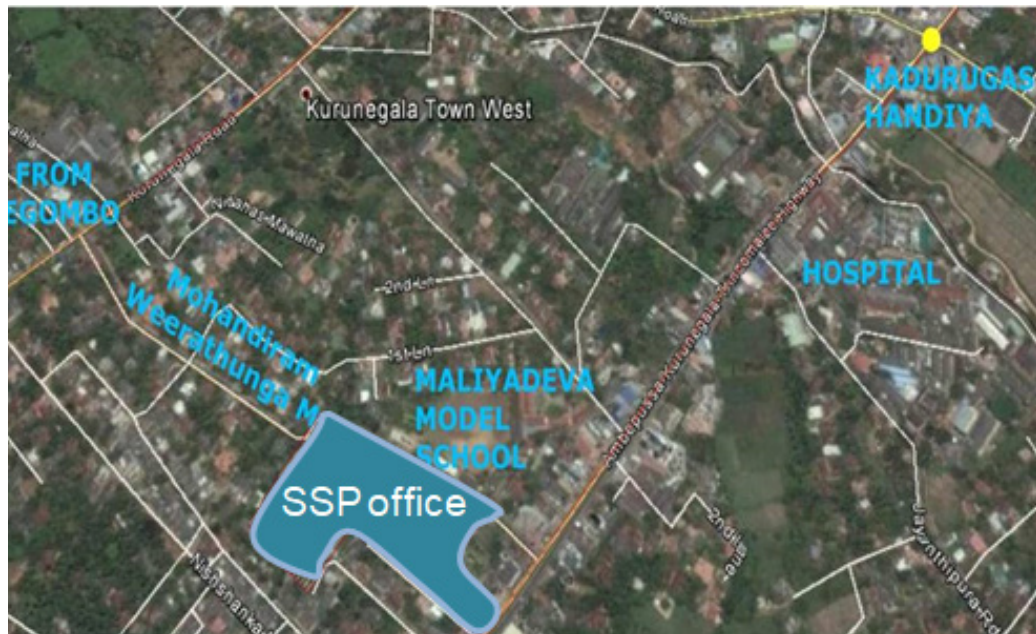
Redevelop the Police and police quarters into Senior Superintendent of Police office in the same land

■ Project Location

Location	Province	North Western	District	Kurunegala
	DS Division - Kurunegala	Divisional Secretary of Kurunegala		
Boundary	North	East	South	West
	Colombo Road	Colombo Road	Muhandiram Werathunga Mawatha	houses
Access	Colombo Road			

Source : Urban Development Authority North Western provincial Office , 2020

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Type of the project

Economic Development plan

■ Project Objectives

- The available police station and old police quarters should be redeveloped, in order to get the optimal usage according to the surrounded high commercial land demand
- Redevelopment of Senior Superintendent of Police office (SPs Office) which is available as the underdeveloped manner in order to get the optimal usage from that land (9 acres of land).

■ Project Rational

By establishing a small police unit of available land and integrate all sportive institutions with the Special Crime Investigation Division - police such as SPs office, The Division of Police Official Dogs, Divisional Crime Investigation Division and police station; in order to provide an efficient service to the people by combining all the activities.

■ Present Land ownership

Government

■ Project Duration

Middle Term

■ Financial Method

Central Government, Police Department, Defense Ministry

■ Project Description

To regulate the development in the same land by redeveloping as the police station and police quarters complex (flat).

■ Present Land-uses

In addition to the two storey SPs offices of this land, one storey office buildings are scattered all over the place.

■ Exiting Condition

- SPs office (2 floors and 5000sqft.)
- The Division of Police Official Dogs
- Divisional Crime Investigation Division
- Special Crime Investigation Division
- Divisional Intelligence Section
- Communication Center
- Field Environmental Unit

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Relocate the Police station and Police Quarters	Police Department Defence Ministry	Secretary, Ministry of Defense

■ Guidelines

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.30 Project 29

Landscape Development Project

- **Project Proposal**
Develop the walking track in 'Sirisara' paddy field near to the hospital
- **Location Map**



Source : Urban Development Authority North Western provincial Office , 2020

- **Surrounding land-use**
Commercial Development, Kurunegala Teaching Hospital
- **Type of the Project**
Landscape Development Plan
- **Project Section**
Development of Economic/Social and infrastructure facilities
- **Project Objectives**
 - Provide necessary facilities for the urban people to exercise
 - To providing public vehicle parking places.
 - Enhance the visibility of the 'Ethugala'
- **Project Rational**

Lack of adequate recreation spaces is an issue in Kurunegala area and there are no proper spaces to park vehicles and exercising tracks around the hospital. This is a cultivating paddy field and it has the potential to enhance urban recreations. This is a suitable area to see the Ethugala while adding an identity to Kurunegala.

■ Project Duration

Short term

■ Financial Method

Municipal Council, Urban Development Authority

■ Project Description

- Development of a walking track around the paddy field.
- Reclamation of 90 feet of area next to the main road to develop as a vehicular park (06m x 80m land)
- Develop paddy field as natural cultivation by using natural fertilizer (Kabanika Wagawa).

■ Project History

This was identified project by UDA in 2014 and developed a plan. The walking tracks already established. But this project is stop nowadays.

■ Present Condition

Part of the paddy field has already been reclaimed.



Source : Urban Development Authority North Western provincial Office , 2020

Activity	Relevant Authority	Authorized person
Land Acquisition	Urban Development Authority	Director (Land)
Land Reclaimed and De-velopment	Urban Development Authority	Director (Province)
Construction of walking track	Urban Development Authority	

■ Guidelines

It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.31 Project 30

Development of the Land Situated at the Land Registry Office.

■ Project Proposal

Construction of a small park and bus halt in the land of the Land Registry Office.

■ Access

Kurunegala- Dambulla Road

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

- **Surrounding land-uses**
Commercial
- **Type of the project**
Economic Development Plan
- **Project Section**
Landscape
- **Project Objectives**
 - Develop this place as urban garden. This is the entry point to the Kurunegala town from the Dambulla road.
 - There is no bus stop at Dambulla road and fulfill this requirement.
- **Project Rational**
This place becomes as an informal position due to lorry parking, this triangle land does not have space to do a large development. This place most suitable for constructing the mini-park and Dambulla road bus halt as a gateway to the town.
- **Project Duration**
Short Term
- **Financial Method**
Kurunegala Municipal Council
- **Project Description**
 - Construction of small Bus halt
 - Preparation of suitable places for seating
 - Recreate park by Trees planting
- **Present Condition**
Functioning as a vehicle stop
- **Conceptual Image**



Source : "Tactical Urbanism" or Public Vandalism? - PlannersWeb

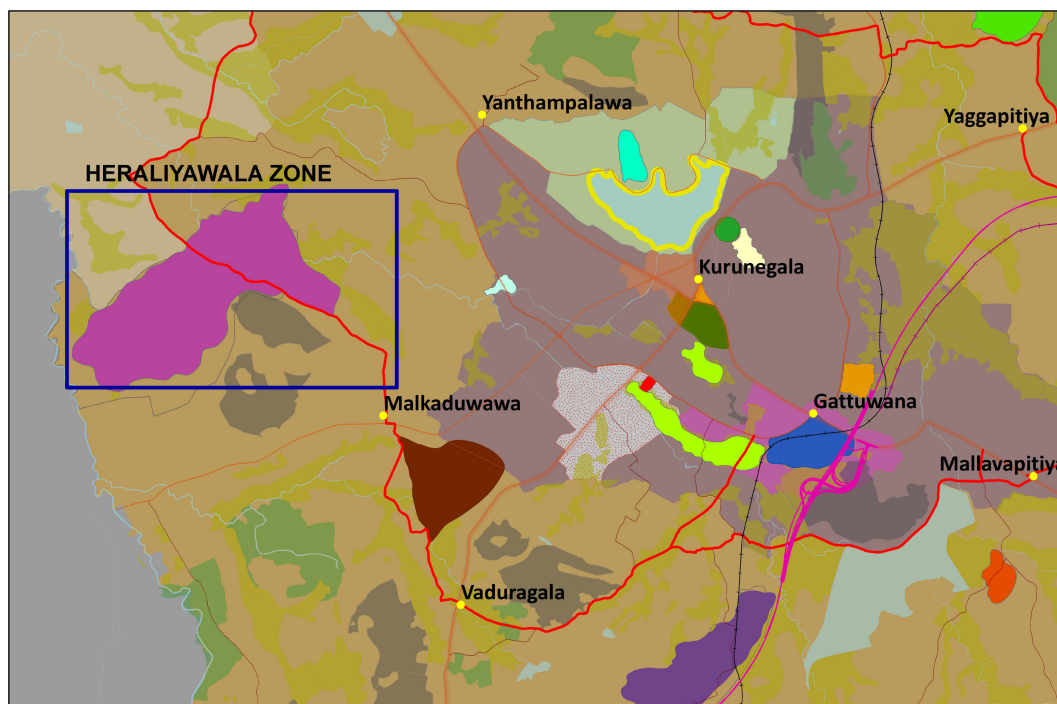
Approval Agencies

Activity	Relevant Authority	Authorized person
Construction of Bus halt	Municipal council of Kurunegala	Mayor
Preparation of suitable places for seating and preparation of land	Municipal council of Kurunegala	Mayor
Recreate park by Trees planting	Municipal council of Kurunegala	Mayor

6.6.32 Project 31

Expansion of the Heraliyawela Industrial Zone

- **Project Proposal**
Land acquisition for the industrial development of Heraliyawela
- **Access**
Malkaduwawa- Alakoladeniya Road
- **Location Map**



Source : Urban Development Authority North Western provincial Office , 2020

- **Surrounding Land-uses**
Industrial zone is located close to this land.
- **Type of the Project**
Economic Development Plan

■ **Project Section**

Development of Economic/Social and infrastructure facilities

■ **Projective objective**

- To fulfill the land demand for Heraliyawela Industrial Zone.
- Creating employment opportunities for unemployed.
- Diversifying the economy by increasing industrial employment opportunities.

■ **Project Rational**

The Heraliyawela Industrial zone is located close to an external alternative road and Gettuwana, Dammbokka interchange. Therefore, importing raw materials, production and export can be done by efficient manner. Kurunegala land prizes are much lower compared with the land prize of the Colombo. Because of that the investors can cataract to the Kurunegala town area.

■ **Present Land Ownership**

Private

■ **Project Duration**

Middle Term

■ **Financial Method**

North western provincial Council

■ **Project Description**

- Land Acquired with infrastructure facilities for this project
- Provide land for investors with relief scheme.
- Tax concessions, a grace period for payment of loans and Encourage.

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land Acquisition	Urban Development Authority	Director (Land)
Land Development	Urban Development Authority	Director (North western)
Land leasing	Urban Development Authority	Director (Land)

■ **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.33 Project 32

Development of Udawalpola Playground

- **Project Proposal**
Develop of Udawalpola abundant paddy field as a playground
- **Access**
Southern Circulation Road
- **Location Map**



Source : Urban Development Authority North Western provincial Office ,

- **Surrounding Land-use**
Mixed development activities with government offices, residential, paddy fields etc. (Proposed Alternate road is located in front of this land).
- **Type of the project**
Open space planning
- **Project vision**
Development of Social Infrastructure
- **Financial Objectives**
Fulfil the need of public playground for the Kurunegala town.
- **Project Rational**
This playground is proposed as public playground for general public for play and celebrations due to the Maligapitiya playground developed as a National Level Athletics ground.

- **Project Duration**

Middle Term

- **Financial Method**

Municipal Council Kurunegala, Urban Development Authority, Government Treasury

- **Project Description**

- Develop the playground with pavilion according to the Drainage scheme plan of Land Reclamation and Development Corporation for the abandoned paddy lands.

- **Present Condition**

Abandoned paddy land

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land Acquisition	Urban Development Authority	Director (Provincial)
Land Development	Municipal Council	Municipal Commissioner

- **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

It should have to follow the proposed drainage plan when reclamation paddy area for roads constructions.

6.6.34 Project 33

Project of Upgrading the Physical Facilities in Schools

- Development of Physical facilities such as buildings in school which are identified under the education facilities development plan. The project should be implemented by the Ministry of Education.

6.6.35 Project 34

Proposed Rajapihilla Tuition Class Center.

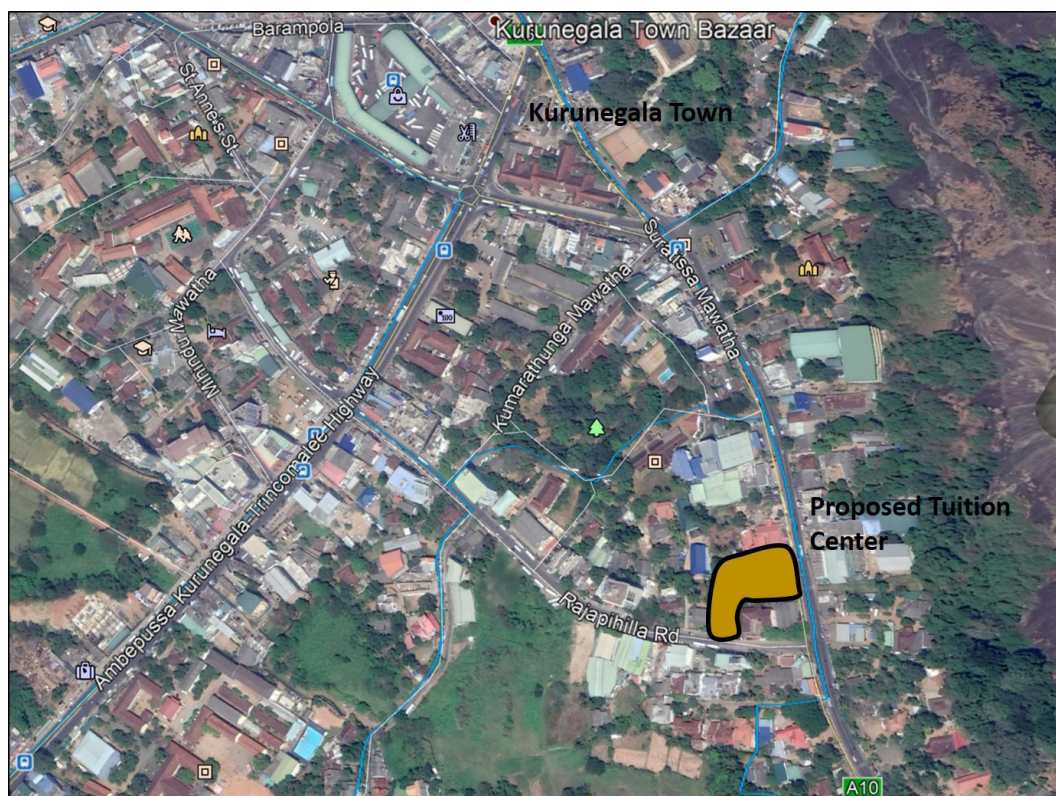
- **Project Proposal**

Establishing a high rise tuition class building at the private bus parking area get access from the Kandy Road.

- **Access**

Kurunegala - Kandy Road and Rajapihilla Road

- **Location Map**



Source : Urban Development Authority North Western provincial Office , 2020

- **Surrounding Land - uses**

Mix development

- **Type of the Project**

Economic Development Plan

- **Project Vision**

Develop of Social, Economic and Physical Facilities

- **Project Objectives**

- To provide high quality tuition classes faculties for students who are in the catchment area of the town and the surrounding.
- Increase the level of education among the student who are in the catchment area of the town the surrounding.
- Getting income from leasing the tuition class.

■ **Project Rational**

The majority of the tuition classes are located in Kandy road and those areas are developed even without having proper infrastructure facilities. It should be located a tuition class center within a walkable distance from bus stand, for the students who come from long distances (Kekirawa, Dambulla, and Anuradhapura) by providing all required infrastructure facilities. There has proposed a bus stop to parks private busses which are parking in this proposed development land.

■ **Project Duration**

Short Term

■ **Financial Method**

Municipal Council of Kurunegala, Private investors

■ **Project Details**

- Construct and Lease of developing building for tuition classes with the sufficient parking spaces and sanitary facilities.
- Present condition of the land private bus parking areas

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Planning and Construction of the Building	Municipal Council Urban Development Authority	Mayor/ Commissioner Provincial Director

■ **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.36 Project 35

Cable Car Project

- **Project Proposal**

Construction of a cable car project by connecting natural rocks around the Wewa premises which is a very scenic place in the city of Kurunegala.

- **Location Map**



Source : Urban Development Authority North Western provincial Office , 2020

- **Type of the project**

Physical Development

- **Project Objective**

- Increasing the tourist attraction for the city of Kurunegala.
- Helping to boost the economy of the city.

- **Project Rational**

As the city of Kurunegala is planned to be developed as a metropolis, it is estimated that a large population (around 500,000) will come into the city in the future as a circulating population. As the city of Kurunegala develops into a fully fledged city with the services they need, it can be expected that the whole country will be attracted by the introduction of such a large project.

■ Financial Method

Private investors

■ Project Description

Opportunity to design and develop a cable car project through a private investor.

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Project Planning	Urban Development Authority	Director (Provincial)

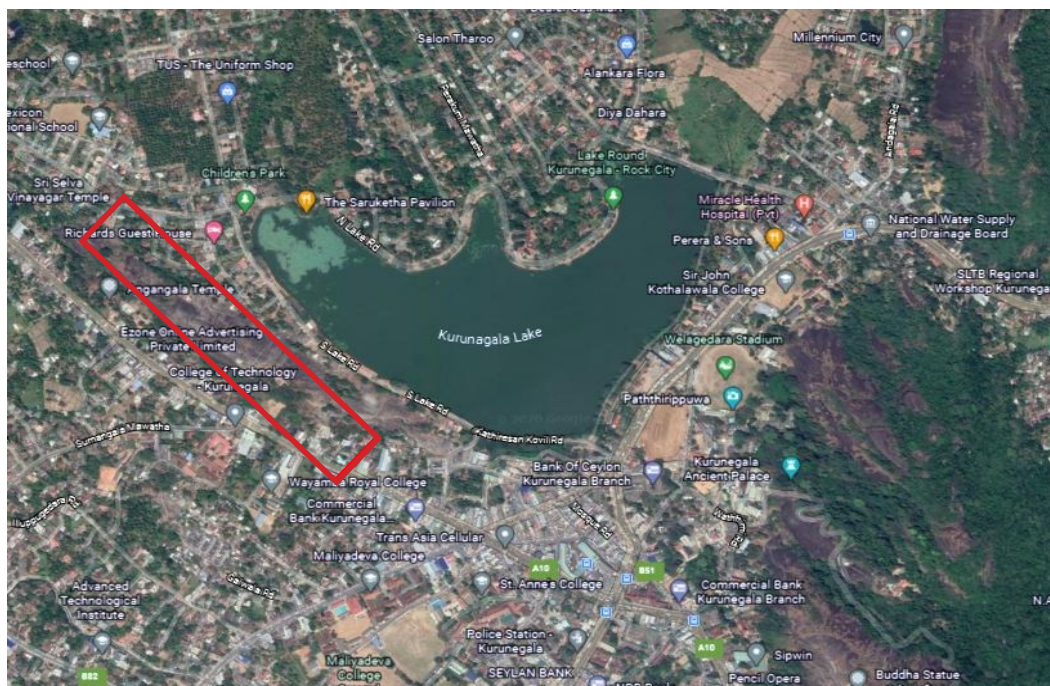
6.6.37 Project 36

Eco Hotel @ Wev gala Premises

- **Project Proposal**

Development of an eco-friendly hotel in the vicinity of Wewgala and Kurunegala Wewa.

- **Location Map**



Source : Urban Development Authority North Western provincial Office , 2020

■ **Type of the project**
Physical Development

■ **Project Objective**

- Providing the city with essential luxury hotels and accommodation
- Creating a scenic spot around the city of Kurunegala

■ **Project Rational**

It is a hotel project being developed in the vicinity of the lake premises in the city of Kurunegala, which is one of the most popular tourist attractions in the city. This is a more suitable project in parallel with the walking lanes and exercise centers built around the lake.

■ **Financial Method**

Private investors

■ **Project Description**

the hotel project is to be designed in an environmentally friendly manner and to be implemented through a private investor

■ **Project Concept**



Source : Urban Development Authority North Western provincial Office , 2020

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Acquisition of lands	Urban Development Authority	Director (Provincial)
Building Construction	Private Investors	

6.6.38 Project 37

Develop the Star Hotel in Badagamuwa

■ Project Proposal

Develop the Star hotel in 10 Arce land, Badagamuwa area which belongs to Kurunegala Plantations. This land is located near to the Badagamuwa reservation.

Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding Land-uses

This land is bounded to the Badagamuwa reservation and surrounded by large Coconut cultivation

■ Type of the project

Economic Development Plan

■ Project Vision

Development of physical infrastructure facilities

■ Project Objective

Providing essential luxury hotels facilities and accommodation to the Kurunegala city

■ Project Rational

The Welagedara Playground is proposed to be developed as an International Sports stadium, therefore accommodations and hotel facilities should be provided for the players.

There are no any star hotels in the Kurunegala town area. Considering that demand for the hotel sector, this hotel project is proposed for a tranquil area which is located proximity to Badagamuwa reservation.

- **Project Duration**

Long Term

- **Financial Method**

Urban Development Authority Funds, Private investors After acquiring the 10-acre land from the Plantation Cooperation, here proposed to develop a luxury hotel consisting of 50 rooms Proximity to Badagamuwa reservation area. This hotel development plan to implement through investors. The construction activities plan to carries with minimum environmental damage with following the structure of the Badagamuwa reservation.

- **Present Condition**

Coconut land

- **Conceptual Image**



Source : <https://www.intelligentliving.co>

- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land acquisition	Urban Development Authority	Director (Provincial)
Construction of the Building	Private investors	

- **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

6.6.39 Project 38

Landscape Development Project near to Sara Gama Wewa Area.

■ Project proposal

Develop the Landscape around the Saragama Wewa and providing the rest and recreation facilities to the population.

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding land-uses

This is located in Thittawella area and proximity to Puttalam - Kurunegala main road

■ Project Section

Landscape /Social/ Physical

■ Project Objectives

- Provide facilities for relaxation and exercise for the urban population
- Providing the public vehicular parking areas

■ Project Rational

This lake located outside of the town center with close proximity main road. Therefore this space is most suitable for providing recreation and entertainment facilities for residential and commuting population.

■ Project Duration

Short Term

■ Financial Method

Local Government

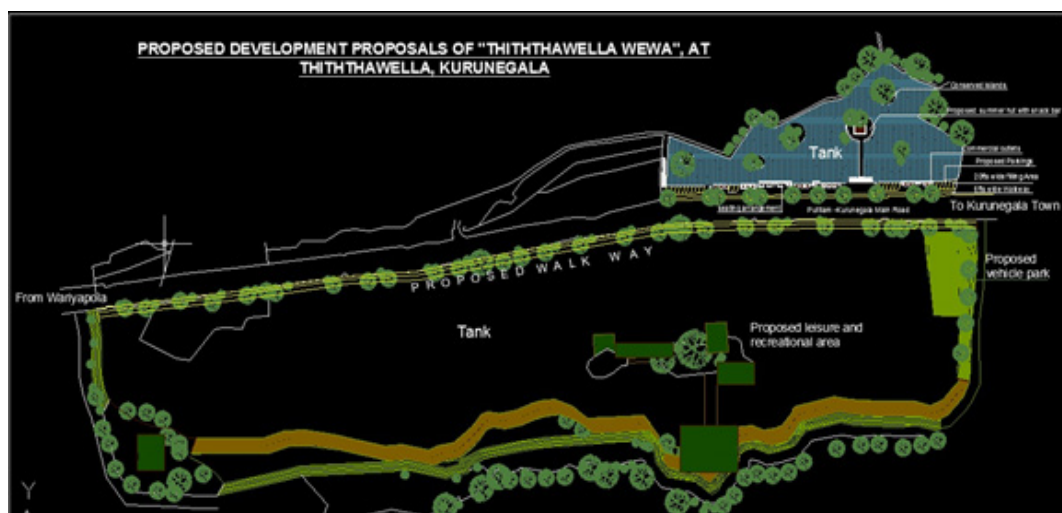
■ Present Condition

Pedestrian walkways are already constructed but there are in miss uses.

■ Project Details

- Construct the walking ways around the lake (Wewa)
- To install tables for resting
- Preparation of children's park
- Preparation of exercise areas

Layout Map of Existing Condition



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Planning and Landscaping	Urban Development Authority Pradeshia shabava	Provincial Director The Chairmen

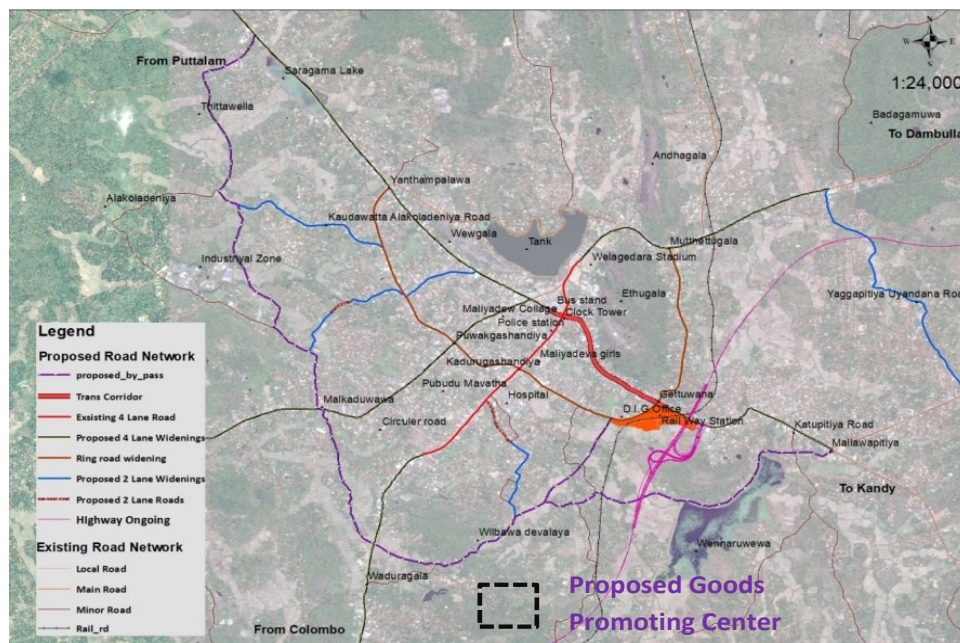
6.6.40 Project 39

Establish the Goods Promoting Center in Nailiya

■ Project proposal

Land acquired near to the interchange of expressway and Develop as a goods promoting center in Nailiya.

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Surrounding Land Uses

Consists of home gardens and coconut garden. This land is located 200m away from the Expressway.

■ Type of the project

Economic Development Plan

■ Project Vision

Develop the Social, Economic Facilities

■ Project Objectives

- Kurunegala is a nutrient area for a number of raw materials such as bricks, tiles and cement. Apart from that, this area becomes more popular for Vehicle and Spare Parts trading in Sri Lanka, nowadays. Apart from that with getting the potentials of upcoming development projects of central expressway and railway expansion projects it can be developed as a distribution center in Sri Lanka.

- Use of higher accessibility to strength the urban economy in Kurunegala town, by getting the potentials of expressways, road network and railways.
- Creating employment opportunities.

■ **Project Rational**

- This project expecting to develop goods distribution center in Nailiya area, because this location is very proximity to the Nailiya railway station and located between the two highway interchanges of Gettuwana and Dambokka. So this location can get the potentials of all types of transportations such as railway, expressway and normal ways (main and alternative roads).
- Considering the current demand for storage facilities in Kurunegala town, it should be formalized the stores facilities which are disperse in several areas in town center as informal manner.
- Currently there is a warehouse complex in Uhumiya area which is control by the help of the Department of Customs and it has capacity to expand the service.

■ **Project Duration**

Long Term

■ **Financial Method**

Urban Development Authority Fund Private investors

■ **Implementation Method:**

- Acquiring the 50-acre land and its handover to investors to develop goods storages, packing centers of goods and container yards.
- It already identifies a 50-acre area to develop this goods promotion center and hope to provide a large number of job opportunities.

■ **Approval Agencies**

Activity	Relevant Authority	Authorized person
Land Acquisition	Urban Development Au-thority	Director (Land)
Land Development	Urban Development Au-thority	Director (North western)
Land Leasing	Urban Development Au-thority	Director (Land)

■ **Guidelines**

The project implementation activities should be conducted according to the rules and guidelines of Urban Development Authority.

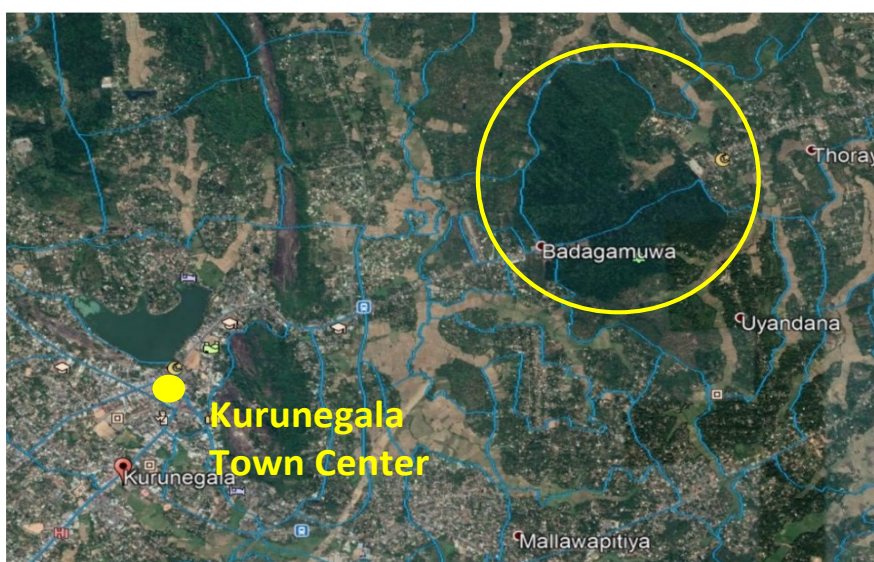
6.6.41 Project 40

Tourism promotional adventure centre at Badagamuwa forest

■ Project Proposal

The project includes tourist routes and adventure activities in the Badagamuwa jungle, a very scenic place in the city of Kurunegala. (An eco-friendly project that does not harm the reserve)

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Type of the project

Physical Development

■ Project Objective

- Increasing the tourist attraction for the city of Kurunegala.
- Helping to boost the economy of the city.

■ Project Rational

As the city of Kurunegala is planned to be developed as a metropolis, it is estimated that a large population (around 500,000) will come into the city in the future as a circulating population. As the city of Kurunegala develops into a fully fledged city with the services they need, it can be expected that the whole country will be attracted by the introduction of such a large project.

■ Financial Method

Private investors

■ Project Description

Opportunity to design and develop a cable car project through a private investor

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Project Planning	Urban Development Authority	Director (Provincial)

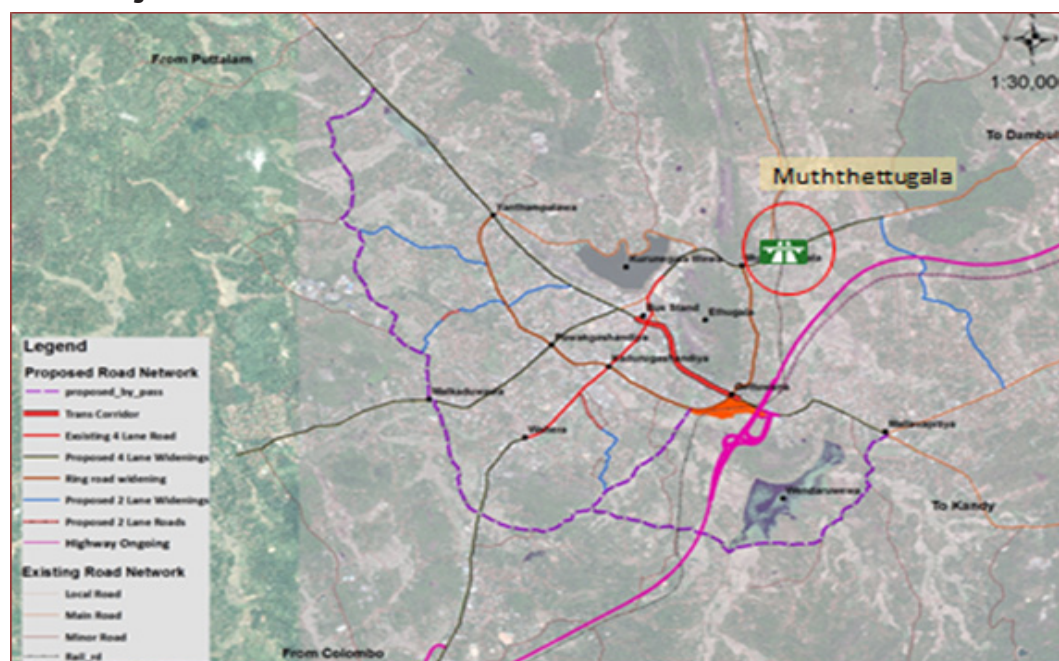
6.6.42 Project 41

Construction of Muththettugala Flyover

■ Project proposal

Construction of fly over @ Dhambulla road railway crossing in Muththettugala.

■ Project location



Source : Urban Development Authority North Western provincial Office , 2020

■ Project Objectives

Reduce the traffic congestion in the Dambulla Road

■ Project Rational

The railway crossing in Muththettugala area has to closed about sixty times per day due to the rail track, which crossing the Ambepussa-Trincomalee road (A006). It is real disturbances to comfort travelling. With the development of Gettuwana highway interchange point, the development trend will increase in Muththettugala area. Moreover, the RDA analysis proved that the design capacities may exceed in the roads by the year 2020 and it creates huge traffic congestion. In order to solve those problems this flyover project proposed by this development plan.

■ Beneficiaries

Urban and Commuting population

■ Benefits

Avoiding the disturbance to Dambulla Road from the Railway tracks, reduce the transport cost and travel time.

- **Implementing Agencies**
Road Development Authority, Expressway Project
- **Financial Method**
Road Development Authority
- **Project Duration**
Middle Term
- **Approval Agencies**

Activity	Relevant Authority	Authorized person
Project planning and acquired to the land	Road Development Author-ity	Provincial Director(North western)
Construction of Flyo-ver	Central Expressway Project Road Development Author-ity	Provincial Director(North western)

6.6.43 Project 42

Develop as a Park Surrounding Palace with Ethugala

- **Project Proposal**
This project renovated the ruins Ancient city of Kurunegala and attracted tourists, opened to the public as a garden.
- **Project Location**

Location	Province	North western	District	Kurunegala
	DS Division- Kurunegala	Divisional Secretary of Kurunegala		
Boundary	North	East	South	West
	Welagedara Stadium Ministry of Agri- culture	Ethugala	Provincial Council Complex	Municipal Council and Provincial Council Complex
Access	Dambulla Road , District Secre- tariat office			

- **Surrounding Land-uses**
Office and Government use

- **Type of the Project**

Landscape Management Plan

- **Project Vision**

Development of Social/Environmental infrastructure facilities

- **Object Objectives**

Development activities and economic developments should carry out by preserving the archeological buildings and ancient ruins belongs to Kurunegala.

- **Project Rational**

At present, there are only a few ruins belonging to the Kurunegala kingdoms era, but the governor's office is located as an ancient building. This land is a scrubs land which is located, bounded to Ethugala. This area has the potential to develop as a recreation garden by providing direct access to Kurunegala Wewa and Ethugala.

- **Project Duration**

Middle Term

- **Financial Method**

Provincial Council, Department of Archeology

- **Project Description**

This project is going to be implemented by preserving the historical ruins and buildings in order to provide an identity for the city. Parallel to that, the landscaping projects are conducting and here hope to provide recreation activities for the community. Already, the spatial plans were prepared for this project and the Department of Archaeology accepted this project. This proposed garden developed to provide direct access to Ethugala and Kurunegala Wewa.

- **Project History**

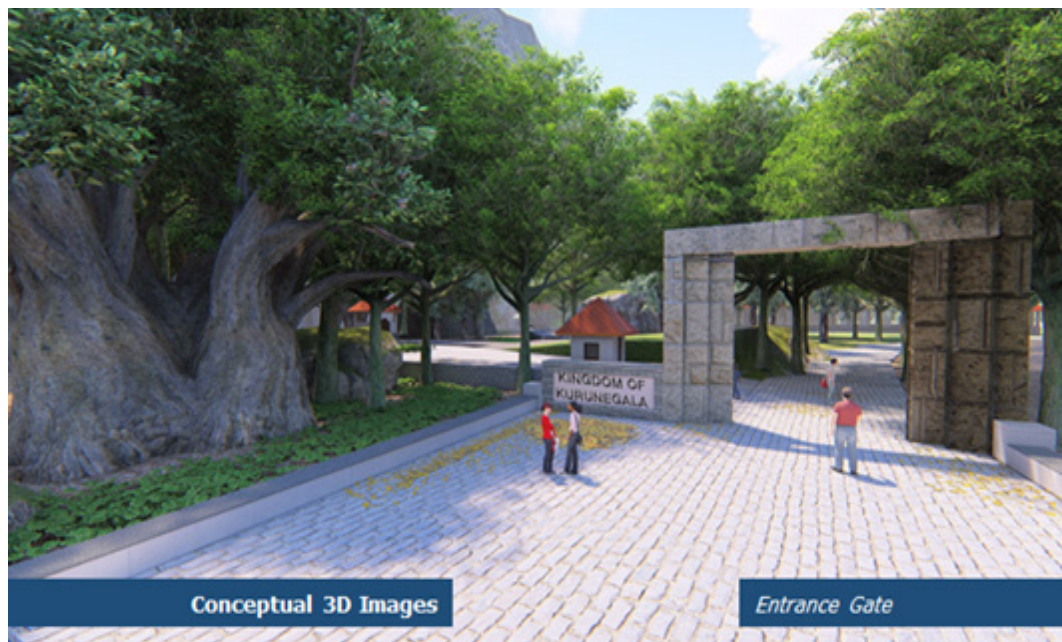
This project was identified by the Urban Development Authority and 50% of conservation work is finished in an old wall. Detailed plans and the estimations are delivered to the Provincial Council.

- **Present usage of the land**

There are small amount of ruins are remain belongs to Kurunegala kingdoms era. Most government officers locates in those of historical buildings.



Source : Urban Development Authority North Western provincial Office , 2020



■ Approval Agencies

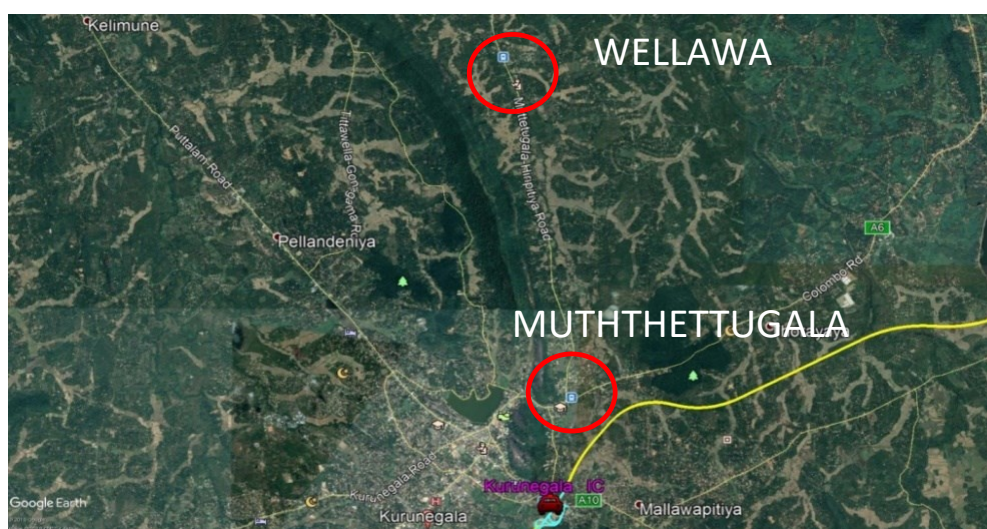
Activity	Relevant Authority	Authorized person
Restoration of the Old city security wall and ruins.	Department of Archeology	Director General Department of Archeology
Construction of Garden	Urban Development Authority	Director (Provincial)
	Provincial Council	

6.6.44 Project 43 Landscape Development Project in Wellawa and Muththettugala Railway Stations

■ Project Proposal

Development of Wellawa and Muththettugala Railway Stations according to the Landscape Plan

■ Location Map



Source : Urban Development Authority North Western provincial Office , 2020

■ Project Vision

Development of Infrastructure facilities

■ Project Objectives

- Wellawa and Muththettugala Railway beatification through landscaping projects.
- To make the railway station a connivance place for users.

■ Project Rational

Here expecting to create comfortable environment for railway passengers by implementation of tree plantation projects. A large amount of railway passengers are used this railway station and the waiting time also high in those stations. Also, these sites are bordered by the main roads and this landscaping projects will create scenic beauty for outside visitors

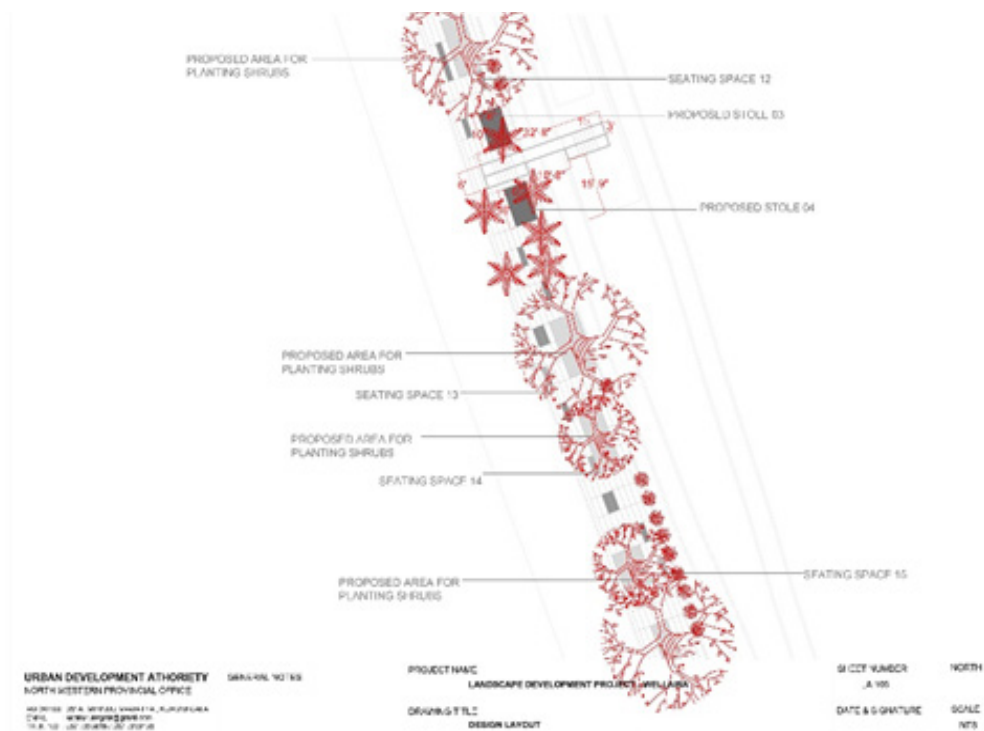
■ Project Description

- ▶ **Project Duration** : Short Term
- ▶ **Financial Method** : Ministry of Transport, Department of Railways
- ▶ **Project Description**
Arrange setting places for railway passengers who waiting until train come landscaping the railway station by establishing shopping stalls and growing tress
- ▶ **Project History**
The project report has been forwarded to the Deputy Minister of Transport and Civil Aviation regarding the Wellawa railway station landscaping project.
- ▶ **Present Condition**
Not enough infrastructure facilities for Railway stations

■ Proposed Plan & Building Design Requirement

Proposed design for the Wellawa Railway station

■ Landscape Plan for the Wellawa Railway Station



Source : Urban Development Authority North Western provincial Office , 2020

■ Approval Agencies

Activity	Relevant Authority	Authorized person
Construction of commercial stalls and benches	Ministry of Transport	Station Master
Tree planting and beautification	Ministry of Transport	Station Master

6.7 Responsible institutions framework

Table 6.25 Project Priority List

	Planning Project	Sub-Planning projects and implementation projects	Relevant Authorities	Responsibilities of the implementing agencies
1	Settlement Development plan (Housing Development Plan)	Housing Development Projects <ul style="list-style-type: none"> Flats complex (Mihindu Mawatha, Gettuwana, Wewa Rauma, Sathyawadee land) 	Urban Development Authority, District Secretary, Divisional Secretary, Private Investors	1. Land acquisition and land releases 1. Obtaining of grants 1. Implementation of projects
		<ul style="list-style-type: none"> Low income housing project at Wilgoda 	Municipal Council, Urban Development Authority	
		<ul style="list-style-type: none"> Halpara Housing Project - Housing Development Authority 	Housing Development Authority	1. Obtaining of grants and Implementation of projects
		<ul style="list-style-type: none"> Housing project (Gonagama, Kaudawatha, Wadudaragala, Doratiyawa, Heraliyawala, Dambumlla Para 	Urban Development Authority Private Investors	1. Obtaining of grants and Implementation of projects
	Education-facilities Development plan	<ul style="list-style-type: none"> Construction of Raththanagalla National School 	Education Department	Provide the Buildings and others facilities
		Construction of buildings and improvement existing facilities. (Mathawa Thiragama Central Collage, Mahinda Vidyalaya, Gettuwana, Udabadalawa Sudarshana Vidyalaya, Vishwa Loka Vidyalaya,	Education Department Ministry of Sports	Provide the Buildings and others facilities, Providing playgrounds and other facilities

		Atugapura Kumara Vidyalaya, Wellawa Maha Vidyalaya, Boyagane Maha Vidyalaya.		
3	Health Facility Development Plan	Reconstruction of the Kurunegala Teaching Hospital	Ministry of Health, Kurunegala Teaching Hospital	Construction of a main landscape project for the hospital and implementation of projects.
		Development of physical facilities at Mathawa and Wellawa hospitals	Ministry of Provincial Health	Implementation of projects to provide facilities including buildings.
		Establishment of rural hospitals in Maspotha and Kiriwawla	Ministry of Health	Obtain the approval of the Cabinet of Ministers and obtaining of grants and implementation of projects.
		Improvement of existing clinical centers in Maspotha and Mallawapitiya	Ministry of Health	Obtaining of grants and Implementation of projects
4	Transport plan	Development of Outer circulation Road	Road Development Authority, Provincial Road Development Authority, Pradeshiya Sabha	Land acquisition and land releases Obtaining of grants and Implementation of projects.
		Expansion of Road Development Authority's Roads	Road Development Authority	Land acquisition and land releases Obtaining of grants and Implementation of projects.
		Widening of internal regional roads.	Kurunegala Municipal Council, Pradeshiya Shaba, Provincial Road Development Authority	Land acquisition and land releases Obtaining of grants and

		Multimodal transport center	Road Development Authority, Railway Department, Urban Development Authority	Land release, land acquisition, preparation of plans, obtaining funds and implementation of the project.
		Transport Corridor - Developing A-10 Road as a 6 lane road, from Multimodal Transport Center to Town Center	Road Development Authority	Land acquisition, Obtaining of grants and Implementation of projects.
		Proposed fly over (Muththettugala)	Road Development Authority	Obtaining of grants and Implementation of projects.
		Develop the public parking spaces. Private Bus parking bays(Southern Depot land , Yanthampalawa)	Sri Lanka Transport Board, Road Passenger Transport Authority, Urban Development Authority)	Implementation of the project, land acquisition and implementation of projects through private investments.
		Establishment of 9 public parking bays in the city center	Kurunegala Municipal Council, Urban Development Authority	land acquisition and implementation of project
5	Water supply plan	Construction of Wanduru Pinu Ella reservoir and supply water	Water Supply & Drainage Board	Obtaining of grants and Implementation of projects.
		Construction of Bandana Reskuru reservoir and increase the capacity of the Kurunegala Greater Kurunegala Water Supply Scheme.	Water Supply & Drainage Board	land acquisition and implementation of project
6	Drainage plan	Preparation of main Drainage Plan	Land Reclamation Development Corporation Municipal Council, Urban Development	Preparation of plan Implementation of the plan

			Authority, Pradeshiya Shaba	
		Preparation of Wilgoda Sluice	Irrigation Department	Obtaining of grants and Implementation of projects.
		Properly develop the Canal in Wilgoda Area which connects the Wan Ela and Buu Ela	Municipal Councils	Obtaining of grants and Implementation of projects.
7	Plan of Sewerage Disposal	Sewerage Disposal project	Water Supply & Drainage Board	Obtaining funds for the expansion of the Sewerage Disposal Project covering areas of 1 & 2 and implementing the project.
8	Economic Development Plan	Redevelopment of town center Town center Development in Mihindu Mawatha	Urban Devel- opment of Authority, Private invest- ments, Housing Development Authority, Road Develop- ment Author- ity, Postal Depart- ment	Land acquisition and land releases Obtaining of grants and Implementation of projects.
		Relocate the Court, Prison in Gettuwana	General Trea- sury, Ministry of Justice, Ministry of Defense, Dis- trict Secre- tariat, Urban Development Authority	Land acquisition and land releases Obtaining of grants and Implementation of projects
		old court complex Develop as a shopping complex	Urban De- velopment Authority, Ministry of Justice	Land Acquiring Obtaining of grants and Implementation of projects.

		Develop old market as commercial complex	Municipal Council private investments	Obtaining of grants and Implementation of projects.
		Mixed Development project in Fair land area	Municipal Council private investments	Obtaining of grants and Implementation of projects.
		Relocate the fair in Wilgoda area in a land which have low income houses	Municipal Council private investments	Obtaining of grants and Implementation of projects.
		Develop the Welagedara International Cricket Stadium	Ministry of Sports, Cricket Board, Municipal Council	Obtaining of grants and Implementation of projects.
		Old Rajapihilla rest house develop as a hotel consisted with 50 rooms	Municipal Council private investments	Obtaining of grants and Implementation of projects.
		Develop the Star hotel in Badagamuwa near to the reserve	Tourist Board, The Urban Development Authority, Private investments	Obtaining of grants and Implementation of projects.
9	Landscape Management Plan	Redevelopment of Rajapihilla Garden	Municipal Council, Urban Development Authority	Preparation of plans, Obtaining of grants Implementation of the project
		Develop the park in Palace area	Urban Development Authority, Department of Archeology,	Preparation of plans, Obtaining of grants Implementation of the project
		Landscape development project of the Sara Gama lake (Wewa) area.	Provincial Council, Pradeshiya Sabha	Project Implementation
		Develop the walking track in 'Sirisara' paddy field near to the hospital	Land Reclamation and Development Corporation,	Project Implementation

			The Urban Development Authority, Municipal Council	
		Landscape development projects in Wellawa and Muththettugala Railway Stations	Department of Railways	Project Implementation
		Preparation of pedestrian walking track project	Urban Development Authority, Road Development Authority, Pradeshiya Sabha Municipal Council	
		Kurunegala Lake Landscape Stage iii	Urban Development Authority, Municipal Council	Preparation of plans and implement the project.
		Tourism promotional adventure centre at Badagamuva forest	Urban Development Authority, Forest Department, Private Investors	Preparation of plans and implement the project.
10	Public Open Spaces and Recreation Development Plan	Construction of Udawalapola Stadium	The Urban Council Urban Development Authority, Land Reclamation and Development Corporation, Agrarian Services Department	Land Acquisition, Reclamation and Development, Preparation of Drainage plan, Get approvals

Part

2

Land and Building
Development
Strategic Plan



Development Zones and Zonning Guidelines

Chapter 07 Development Zones and Zoning Guidelines

7.1. Introduction

The City of Kurunegala is being located at a strategic point, where along with the arterial roads connecting the major urban nodes in Sri Lanka; and to the government manifesto "Vistas of Prosperity and Splendour" also has identified Kurunegala city to be develop as a national city.

Hereinbefore, the city will be developed in transport sector harnessed by the existing road system and proposed to be developed as a main destination in central expressway and railway line, will be bringing about the development of transport sector as well as economic and social sectors development in city of Kurunegala.

To maintain a realistic picture of the future vision of Kurunegala Development plan (2021-2030) "Emerging Wayamba metropolis encrypting Ethugala" and to develop Kurunegala as a national city in line with the Vistas of Prosperity and Splendour government manifesto; the proposed Zonning Plan should be envisaged in such a way that shall be developed on a scientific basis and continue to in a practical way. Proposed Zonning Plan and related guidelines will be obviously helpful to the vision of Kurunegala Development Plan which harmoniously built in terms of Economical, Physical, Social and Environmental sectors.

The north western province gains 3rd place in terms of the study of provincial contribution to Gross domestic production of the Sri Lanka which as high contributes for services sector and it could be concluded that there is higher contribution from kurunegala for the above.

Also, the proposed zoning Plan of Kurunegala city should be formally planned, which is of really importance as a city serving the population of around 300,000 people who come to catch these services and the population who come for the purposes of employment / education, commerce from areas around 25 km away.

Hence zonning plan of the kurunegala be envisaged by its own character and scientifically analysis. accordingly, proposed zonning plan has been envisaged considering potential of highest value of services and transportation sector and special characters of each particular areas and future development trends.

Scietific basis for the Zonning Plan has been taken from Overlaying all the analysis as Environmentally Sensitive areas (Sensitivity analysis), suitability for rsidential zones (suitability analysis) and future development potential area identification (Development potential analysis).

in order to protect the environmental sensitivity area, necessary zonning guidelines has been introduced to conserve and control of development zones.

7.2. Development Zones

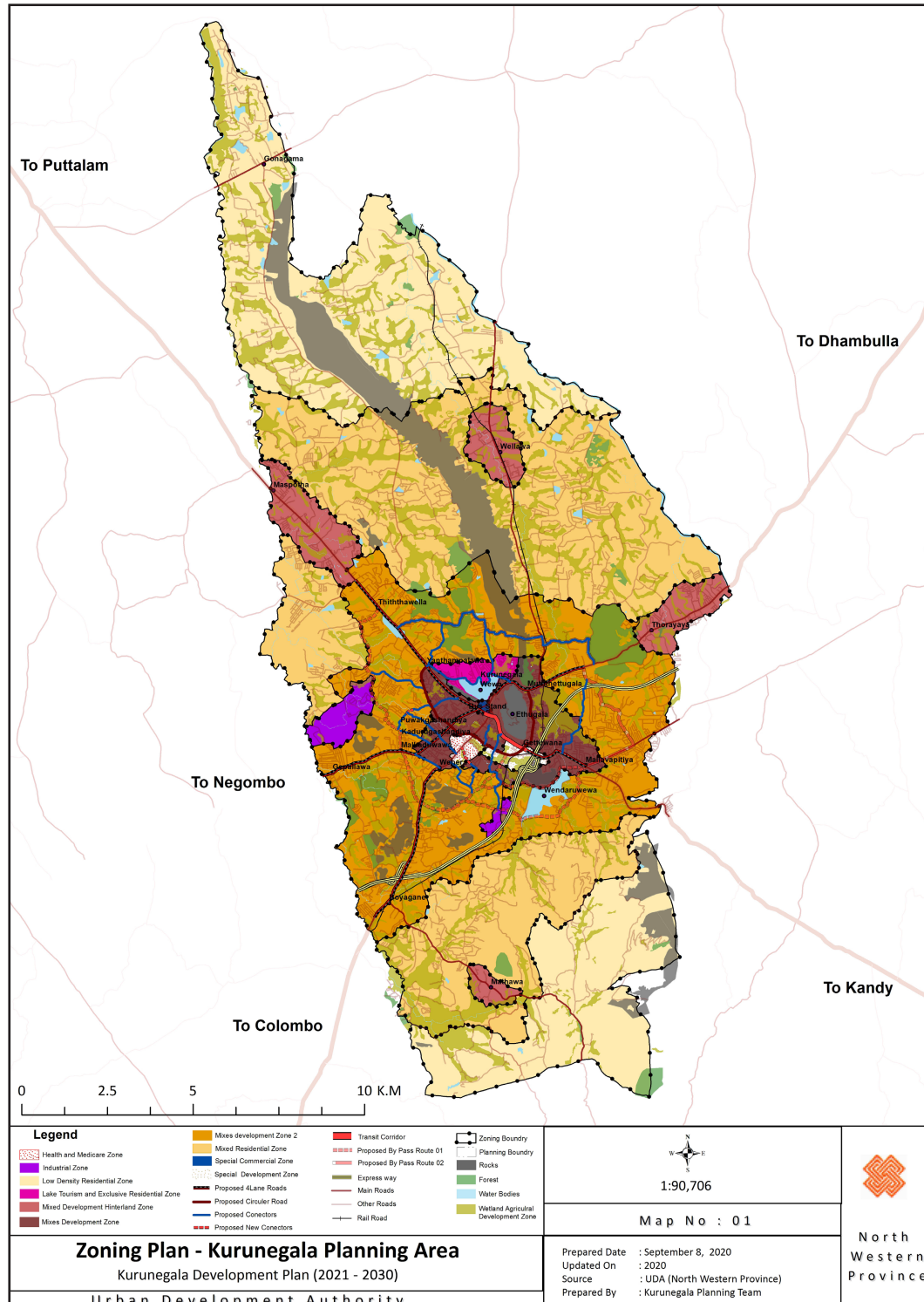
considering above all mentioned criteria , future zoning plan of the Kurunegala has major 11 zones as follows. (Map no 7.1)

- (1) Special commercial zone
- (2) Lake tourism and exclusive residential area
- (3) Health and medicare zone
- (4) Special development zone
- (5) Mix development zone
- (6) Mix development zone 2
- (7) Mix development hinterland zone
- (8) Mix Residential zone
- (9) Industrial zone
- (10) Low density residential zone
- (11) Wetland agricultural development zone

Chapter 8 has mentioned all the Zones which are listed above and guidelines for each zones.

7.2.1. Proposed Zonning Plan 2021- 2030

Map No. 7.1. Proposed Zonning Plan



Prepared by : North Western Provincial Office, UDA , 2020

7.3. Zoning Factor

Zone factor is “a new concept applies in new development plans within the planning process to regularize development.” This will be decided land extent can be developing in each cluster on basis of Existing land use, existing infrastructure facilities and future development projects and development potential.

By this Zone factor extent of expected future development will be calculated as per existing infrastructure facilities and resources. According to this; future urban form to be visible as per objectives and expectation of the development plan and factors which are restricted future development activities as environmental sensitivity, development potentials, development trends, livability of the area and etc to be considered in this calculation. Accordingly, the zones have determined the territories based on the environmental sensitivity, the intensity of development and its direction, the distribution of the infrastructure facilities, the development in commercial activities, the geographical conditions and the density of the population. The Zones which have higher zone factor reflects the availability of concentrated infrastructure network, high commercial development and has a high population attraction within the zone. The zone factor is low if the area is an environmentally sensitive area or there is a lack of land for development or there is a shortage of infrastructure facilities, expected urban form is in the initial stage. Further more details see (Annexure 19 – identification of density zoning)

Accordingly, zone factor will be calculated by character of each development zones and its future density based on the future development.

The process of calculation of zone factor in each cluster as follows.

$$\text{Zone Factor} = \frac{\text{Future required Space for Development}}{\text{Developable Space}}$$

7.3.1. How the Zoning Factor determined?

These are some of the factors on which the zoning factors for calculating the Kurunegala urban area are calculated. Achieving the vision and goals of the development plan, achieving the desired urban form by 2030, protecting the environmentally sensitive areas and providing a high density development in areas with high carrying capacity.

Accordingly, the total floor area expected for residential, commercial and all other uses in each region by the year 2030 has been calculated by dividing by the total land area that can be used for development activities. The zoning factors calculated for each zones are given in Table 7.1. And Map No. 7.2. Indicated by.

Zone factors in the urban area are in the range of 1 - 2.75. The zone factor of Mixed Development Zone, Health and Medicare Care Zone and Special Development Zone, which are very close to the urban center in the Kurunegala Municipal Council areas, is 2.75 . and Zone factor is 2.5 in the Tourism and Special Residential Zone as well as the Mixed Development Zone. The aim is to integrate development activities with high density.

Zone factor of Mixed development zone 2 and Mix Development Hinterland zone is 2. It is expected to provide uses related to the residential dominated activities.

The Zone factor of the mixed residential zone is 1.25 and those practices in the low density mixed residential zone are intended to provide opportunities for services with less development while protecting the environment and zoning factor in the industrial zone is expected to provide development of buildings with moderate density.

Note : Determination of Permissible Floor area for developments According to the Form 'A' 'B' in Schedule 6 to Part IV of the Extraordinary Gazette Notification No. 2235/54 dated Thursday 08th July 2021, the coefficients applicable to the Kurunegala Development Plan indicated by table 7.1 and 7.2 In determining the open space of the building pertaining to the said permissible floor area, the form 'E' of the above Gazette is indicated and it is specified in the Kurunegala Development Plan form 7.3

Schedule C

Table No 7.1. Form A - Permitted Floor area for Zones

Form A - Permissible Floor Area Ratio																
Land extent (Sq.M)	Zone factor = 0.75-0.99				Zone factor = 1.00-1.24				Zone factor = 1.25-1.49				Zone factor = 1.50-1.74			
	Minimum Road Width				Minimum Road Width				Minimum Road Width				Minimum Road Width			
	6m	9m	12m		6m	9m	12m	15m or above	6m	9m	12m	15m or above	6m	9m	12m	15m or above
150 less than 250	1.3	1.3	1.4	1.4	1.6	1.7	1.8	1.9	2.0	2.2	2.3	2.4	2.4	2.6	2.7	2.8
250 less than 375	1.3	1.6	1.8	2.0	1.8	2.2	2.4	2.7	2.2	2.7	3.0	3.3	2.6	3.2	3.6	4.0
375 less than 500	1.3	1.6	1.9	2.1	1.9	2.2	2.5	2.8	2.3	2.8	3.2	3.4	2.7	3.3	3.8	4.2
500 less than 750	1.4	1.7	2.0	2.2	2.0	2.3	2.7	3.0	2.4	3.0	3.4	3.5	2.8	3.4	4.0	4.5
750 less than 1000	1.5	1.8	2.2	2.5	2.1	2.4	2.9	3.3	2.6	3.0	3.6	4.0	3.1	3.6	4.3	5.0
1000 less than 1500	1.6	1.9	2.3	2.7	2.2	2.5	3.0	3.6	2.7	3.1	3.8	4.5	3.2	3.8	4.6	5.5
1500 less than 2000	1.7	2.1	2.5	3.0	2.3	2.7	3.4	4.0	2.9	3.4	4.2	5.0	3.4	4.0	5.0	6.0
2000 less than 2500	1.8	2.3	2.7	3.1	2.4	2.8	3.5	4.2	3.0	3.5	4.4	5.4	3.5	4.2	5.2	6.5
2500 less than 3000	1.9	2.4	3.0	3.6	2.5	3.2	4.0	4.7	3.1	3.8	4.7	5.8	3.6	4.4	5.5	7.0
3000 less than 3500	2.0	2.5	3.1	3.7	2.6	3.4	4.2	5.0	3.2	4.0	5.0	6.2	3.7	4.6	6.0	7.5
3500 less than 4000	2.2	2.6	3.3	3.9	2.8	3.6	4.3	5.3	3.3	4.3	5.5	6.6	3.8	4.8	6.3	8.0
More than 4000	2.5	2.8	3.5	4.0	3.0	3.8	4.5	5.5	3.5	4.5	6.0	7.0	4.0	5.0	6.5	8.0

Land extent (Sq.M)	Zone factor = 2.00-2.24				Zone factor = 2.25-2.49				Zone factor = 2.50-2.74				Zone factor = 2.75-2.99				Zone factor = 3.00-3.24			
	Minimum Road Width				Minimum Road Width				Minimum Road Width				Minimum Road Width				Minimum Road Width			
	*6m	9m	12m	15m or above	*6m	9m	12m	15m or above	*6m	9m	12m	15m or above	*6m	9m	12m	15m or above	*6m	9m	12m	15m or above
150 less than 250	3.0	3.4	3.6	3.8	3.0	3.4	3.6	4.0	3.0	3.4	3.6	4.0	3.0	3.4	3.6	4.0	3.0	3.4	3.6	4.0
250 less than 375	3.2	3.6	4.5	4.5	3.5	3.8	4.5	5.0	3.5	4.0	5.0	5.5	3.5	4.2	5.0	5.5	3.5	4.4	5.0	5.5
375 less than 500	3.4	3.7	4.8	5.2	3.6	4.5	4.7	5.5	3.6	4.6	5.2	6.0	3.6	4.7	5.2	6.0	3.6	4.8	5.2	6.0
500 less than 750	3.5	4.0	5.0	6.0	3.7	5.0	5.0	6.0	3.7	5.1	5.5	6.5	3.7	5.2	5.5	6.5	3.7	5.3	5.5	6.5
750 less than 1000	3.6	4.5	5.7	6.5	3.8	5.1	6.0	6.5	3.8	5.2	6.5	7.0	3.8	5.3	7.0	7.5	3.8	5.4	7.0	7.5
1000 less than 1500	3.7	5.0	6.1	8.0	3.9	5.3	6.5	8.5	3.9	5.4	7.0	9.0	3.9	5.5	7.5	9.0	3.9	5.6	7.5	9.0
1500 less than 2000	3.8	5.1	6.7	9.0	4.0	5.4	7.0	*10	4.0	5.5	7.5	*10.5	4.0	5.6	7.5	*10.5	4.0	5.7	8.0	*10.5
2000 less than 2500	3.9	5.2	7.1	*10	4.0	5.5	7.5	*10.5	4.0	5.6	7.5	*11	4.0	5.7	8.0	*11	4.0	5.8	8.0	*11
2500 less than 3000	4.0	5.3	7.4	*10.5	4.0	5.6	7.5	*11	4.0	5.7	8.0	*11.5	4.0	5.8	8.0	*11.5	4.0	5.9	8.0	*11.5
3000 less than 3500	4.0	5.4	7.6	*11	4.0	5.7	8.0	*11.5	4.0	5.8	8.0	*12	4.0	5.9	8.0	*12	4.0	6.0	8.0	*12
3500 less than 4000	4.0	5.5	7.8	*11.5	4.0	5.8	8.0	*12	4.0	5.9	8.0	*12	4.0	6.0	8.0	*12	4.0	6.0	8.0	*12
More than 4000	4.0	5.6	8.0	*12	4.0	5.9	8.0	*UL	4.0	6.0	8.0	*UL	4.0	6.0	8.0	*UL	4.0	6.0	8.0	*UL

UL - Unlimited

Floor area allocated for parking facilities are not calculated for FAR

Above Floor Area Ratio shall not be applicable for the zones where number of floors or FAR indicated under the zoning regulation

Above Permissible FAR may be restricted under the development plan based on the slope of the land

Clearance shall be taken from National Building Research Organization for the lands having slope more than 110

* FAR more than or equal to 10.0 shall be permitted only for the roads having minimum of 12m (from road center) Building Line, if not maximum

FAR shall be limited to 9.0

** Minimum road width of 7m shall be considered for the roads identified as 7m wide road in the particular development Plan

Table No 7.2 - Form B – Number of Floors for 3 m and 4.5 m roads

Form B - Number of Floors for 3.0m & 4.5m wide Roads						
Minimum Road Width	Minimum Site Frontage	Plot Coverage*	Maximum Number of Floors			
			Zone Factor 0.5 - 0.74	Zone Factor 0.75 - 1.24	Zone Factor 1.25 - 3.49	Zone Factor 3.50 - 4.00
3.0m	6m	65%	1 (G)	2 (G+1)	3 (G+2)	3 (G+2)
4.5m	6m	65%	1 (G)	2 (G+1)	3 (G+2)	4 (G+3)
Number of floors are indicated including parking areas Number of units allowed for each road shall not be changed * Where no plot coverage specified under the zoning regulation						

Table No 7.3 - Form E - Setbacks & Open Spaces

Form E - Setbacks & Open Spaces										
Building Category	Building Height (m)	Minimum Site Frontage (m)	Plot Coverage*		Rear Space (m)		Side Space (m)		Light Well for NLV	
			Non Residential	Residential	When no NLV is taking this end	When NLV is taking this end	When no NLV is taking this end	When NLV is taking this end	Minimum width	Minimum Area
Low Rise	less than 7	6	80%**	65%	2.3m	2.3m	-	2.3m	2.3m	5 Sq.m
	7 less than 15	6	65%	65%	3.0m	3.0m	-	3.0m	3.0m	9 Sq.m
Inter Mediate Rise	15 less than 30	12	65%	65%	4.0m	4.0m	1.0m and 3.0m	4.0m	4.0m	16 Sq.m
Middle Rise	30 less than 50	20	65%	65%	4.0m	5.0m	3.0m both side	5.0m	5.0m	25 Sq.m
High Rise	50 less than 75	30	50%***	50%***	5.0m	6.0m	4.0m both side	6.0m	6.0m	36 Sq.m
	75 and above	Above 40m	50%***	50%***	5.0m	6.0m	5.0m both side	6.0m	6.0m	****

NLV - Natural Light & Ventilation

Building Height - Height between access road level to roof top or roof level (Including parking floors)

* Where no Plot Coverage specified under the zoning regulation

** The entire development is for non-residential activities

*** 65% plot coverage can be allowed only for the podium level not exceeding 20% of the tower height or 12 floors which ever is less

**** Minimum area shall be increased by 1 Sq.m for every additional 3m height

7.3.2. Zone factor for each development Zone

As mentioned in above criteria calculated zone factors (Attachement 19) represent in Table no 7.4.

Table no 7.4 Zone factors

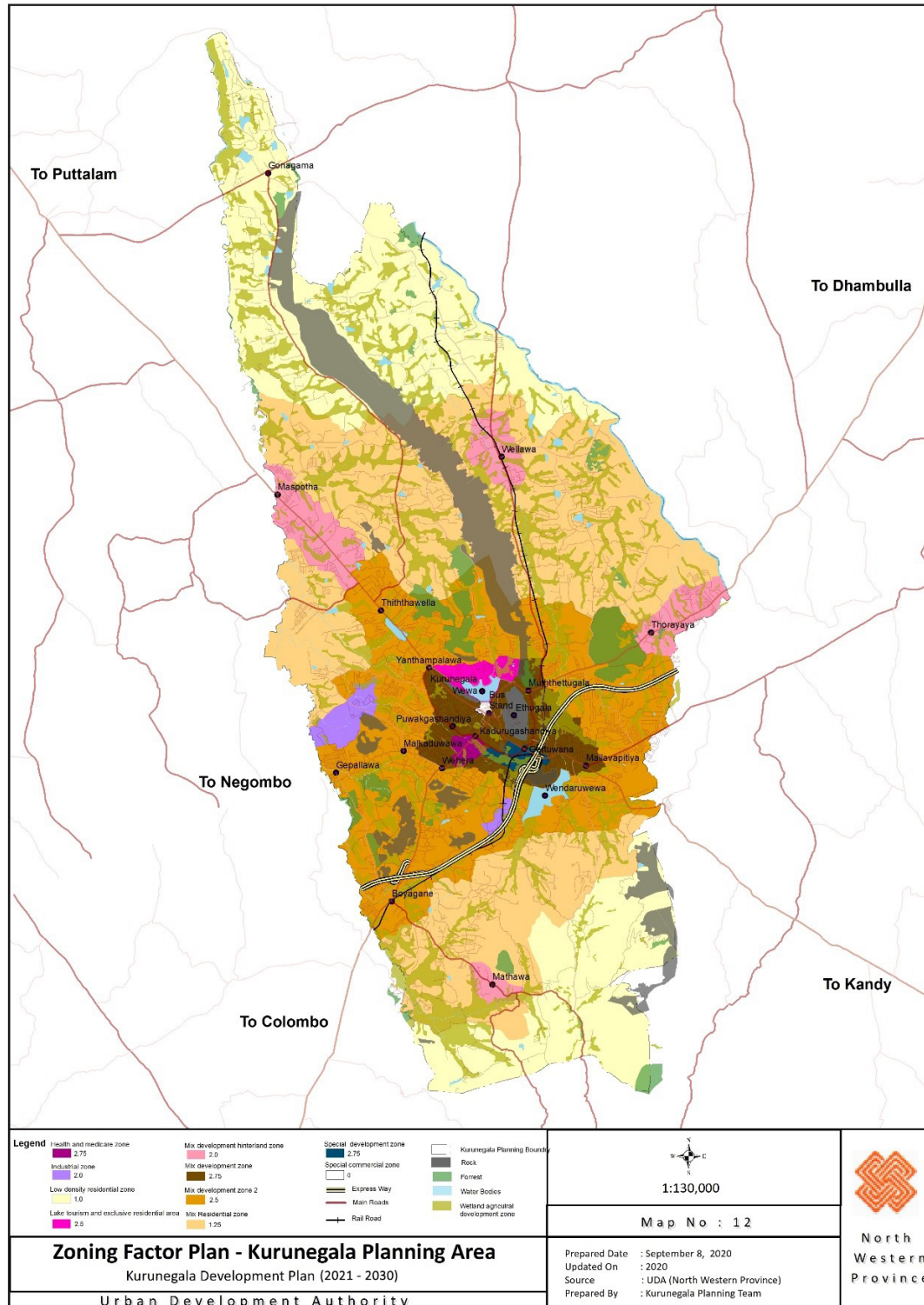
No	Zone	Zone Factor
01	Special commercial zone	Refer the Chapter 9
02	lake tourism and exclusive residential area	2.5
03	health and medicare zone	2.75
04	Special development zone	2.75
05	Mix development Zone	2.75
06	Mix development Zone 2	2.5
07	Mix development Hinterland zone	2.00
08	Mix Residential Zone	1.25
09	Industrial Zone	2.0
10	Low density residential zone	1.0
11	Wetland agriculral development Zone	0

Note: When calculating the permissible floor area width of the road should be considered as proposed road (chapter 10) width of the access road with accessibility rights. If there is no street line / building line road width should be the physical width of access roads.

The relationship between the zone factor and the permissible floor ratio determined in accordance with the Kurunegala Development Plan 2021 -2030 is stated in the schedule 1 and is referred to as "Form A, B, and E". All development activities related to the Kurunegala Urban Development Area should be in accordance with Schedule 1.

7.2. Zone factor of each zone 2021-2030

Map 7.2. Zonning factor plan 2021-2030



Prepared by; North Western provincial office, Urban Development Authority 2020

7.4. Common Guidelines for Planning Area

This Chapter describes the General guidelines for the Kurunegala Planning area, these guidelines are common for all the zones incorporated in 7.1 and shown in map no 7.1. The permissible uses and zoning guidelines that have been introduced in each zone of the proposed zoning plan as outlined in chapter 8

- 7.4.1. These guidelines apply to the Kurunegala Urban development area which has been declared as an Urban Development Area by the Gazette Notification which had been amended from time to time under Section 3 of the Urban Development Authority Act No. 41 of 1978, No. 38/16 and dated 01.06.1976, No. 1926/20 dated 04.08.2015 and No. 2068/47 and 28.04.2018
- 7.4.2. In addition to the provisions of this zoning plan, the Planning and Development Regulation applicable to any development work is regulated by the Gazette Notification No 2235/54 dated 08th July 2021. The said legalized Planning and Development Regulations also apply to the Kurunegala urban development area.
- 7.4.3. Apart from any constructions performed for public recreation and leisure activities, it should be maintained a reserve 30 meters wide beyond a boundary zone of spill water level without any other constructions to maintain and protect the environmental surroundings of the tanks in Kurunegala, Thiththawella and Wendaruwewa
- 7.4.4. 10-meter-wide barrier zone should be maintained to avoid any fouling, construction or damage to protect the surrounding environment of Ethugala, Ibbagala, kuruminiyagala, Andagala and Yakdesagala. (Only cultivations and Septic Tanks are allowed). It is allowed to develop already established religious centers within this rocky area.
- 7.4.5. All construction in the area covered by the Greater Kurunegala sewerage system should be connected to the sewer system.
- 7.4.6. It should be maintained 4.5 m building line from the center of the each 'Bhuu ela' and 'Vaan ela' service roads. Similarly, the canal should be maintained 3 meter building line along the opposite side of the service roads. 3 m building line on both sides of the canal should be maintained for all the other canals in Municipal Council area
- 7.4.7. All the reservations declared by the relevant institutions, which are maintained by the tanks, rivers, oya and streams, should be implemented, and in the absence of such restrictions, the following building limits will be implemented by the Urban Development Authority.
 - 7.4.7.1 10 meters from the boundary for the Deduru Oya and the Maguru Oya.
 - 7.4.7.2 10 meters from the maximum water level for small tanks.
 - 7.4.7.3 Half width of the canal from the canal boundary should be placed for other canals.

- 7.4.8. The places where the Department of Archeology is registered as Protected Monuments, conservatives, excavated and preservation have been proposed, are should not be changed or renovated without the recommendation of the Department of Archeology.
- 7.4.9. The approval of Ministry of Religious Affairs and the approval of relevant local authority should be obtained when constructing religious places within all zones.
- 7.4.10. If it is being constructed fence or boundary walls where ground plane connected to the waterways, it will be permitted with the water hole where water can be drained.
- 7.4.11. Plot coverage for pre-school, primary school and day care centers should be 50% and parking facilities should be provided at the premises.
- 7.4.12. Recommendation should be taken from Central Environment Authority and other relevant institutes for obtaining approval for industries. And also should be accordingly the gazette notification no 1533/16 dated 2008-01-25.
- 7.4.13. As identified in the specific areas in Map No 7.3 height restrictions should be compiled in the development activities.
- 7.4.14. Building development on lands bordering the main road in the 7.6 m high zone on Map No. 7.3. (Height Control zone plan) should be confined to a single storey up to 15m from the building line of the road to see the Ethugala.
- 7.4.15. Any Development activity with special Development Zone, Special Commercial Zone and Height Control areas as per the map no 7.3. should be obtained a preliminary planning clearance.
- 7.4.16. If a boundary wall is to be constructed in the development area bordering the road and the land, the proposed road width or building limit should be omitted. If the boundary wall construction is within the proposed road width, the Authority may consider the construction at a distance of at least 1 m from the road boundary subject to the signing of a non-compensation agreement with the existing road ownership agency.
- 7.4.17. If there is a matter which is not covered by the guidelines referred to herein, the authority has the power to determine in that regard.
- 7.4.18. In addition to these guidelines, the central government rules and guidelines emanating from a timely need are in power.

7.5. Permissible height according to visibility analysis

The allowable height plan has been identified to visualize the Ethugala for identified location of Figure 7.1 Construction of buildings is subject to the height imposed according to the map number (7.3)

Figure 7.1 The identified locations as visual corridors

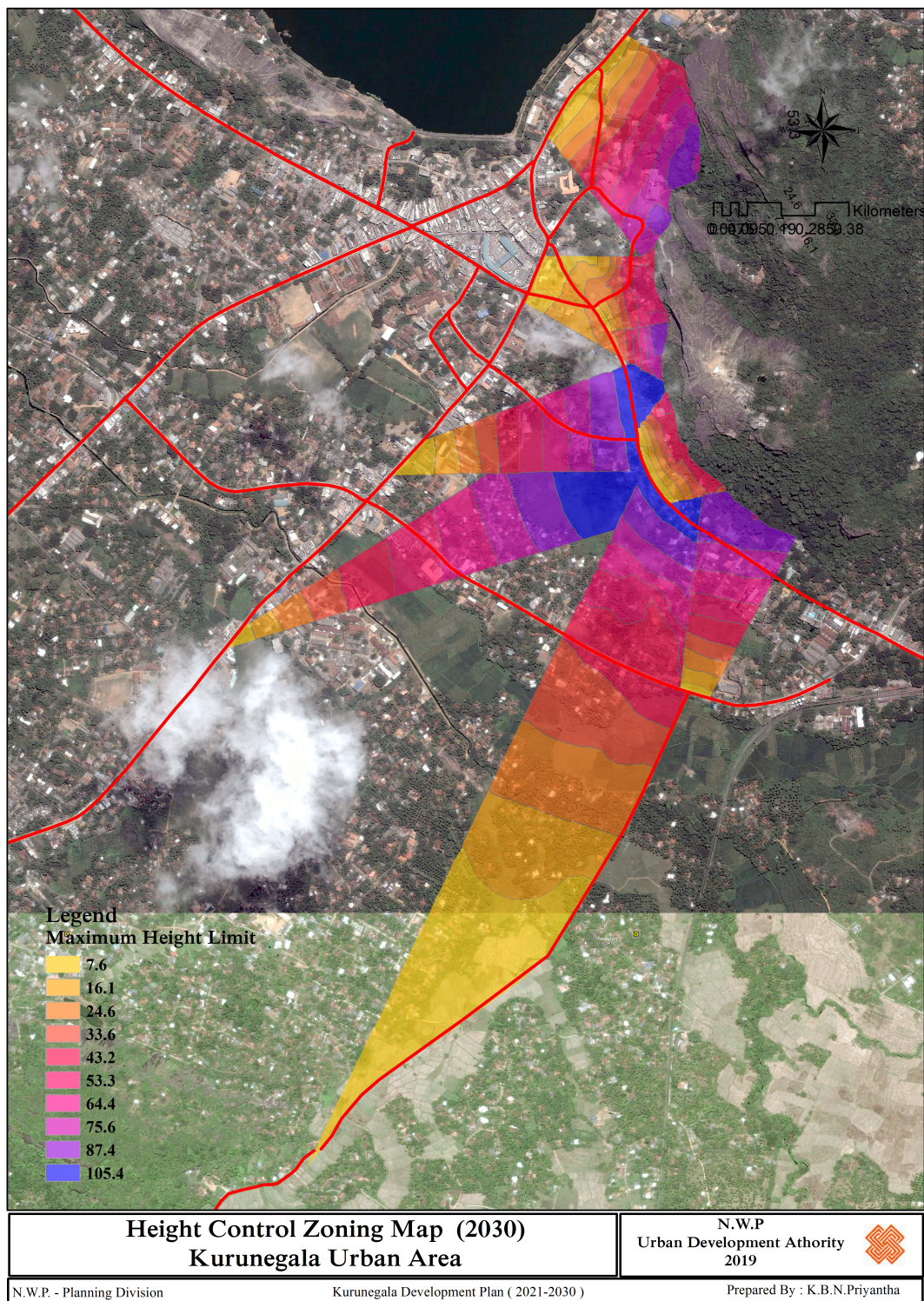


Source: North Western provincial office, Urban development Authority, 2020

7.5.1 Purpose of Visibility Protection

The city of Kurunegala has been associated with Athugala since ancient times and its identity is Athugala. Accordingly, in line with the rapid development that is taking place at present, the objective of this is to provide an opportunity for the people who are attracted to the city to see Athugala from at least few places, with the aim of protecting the identity of the city of Kurunegala.

Map No 7.3. Allowable height plan to visualize the Ethugala.



Source : North Wester provincial office, Urban de4velopment Authority , 2020



Zoning Guidelines

Chapter 08

Zoning Guidelines

The zoning plan of the Kurunegala Development Plan has identified 11 development zones and the development guidelines applicable to each zone in as follows.

8.1. Special Commercial Zone

8.1.1. Guidelines for Special Commercial Zone

Table 8.1.1 Guidelines for Special Commercial Zone

A	Development Zone	Special Commercial Zone
B	Zoning Definition	The historical city of Kurunegala belongs to this Zone and it is dedicated to maintaining as a pedestrian friendly area by providing the goods and services required for the daily Commuter population.
C	Boundary (Coordinate)	Annexure 05
D	Zoning factor	As in the development guide plan in Chapter 09
E	Permitted height	As in the development guide plan in Chapter 09
F	Plot Coverage	Residential - 66 % Non Residential - 80%
G	Special Guidelines applicable for Zone	As in the development guide plan in Chapter 09

Prepared by: North Western Provincial Office, UDA 2020

8.1.2. Permitted Uses and Minimum Plot Sizes - Special Commercial Zone

Permitted uses	Others / Minimum Plot size (Sq. m)	Achievable maximum floor area
Residential		
Single Housinh Units	Guidelines of the Development Guide Plan should be applied	Guidelines of the Development Guide Plan should be applied
Health		
Pharmacies/ Laboratories	Guidelines of the Development Guide Plan should be applied	"
Institutional		
Single office Units (Gov/Semi Gov/Pvt)	Guidelines of the Development Guide Plan should be applied	"
Bank iNsuarance and Financial	"	"
ATM	"	"
Commercial		
Retail Shops/ Consumers good stalls	Guidelines of the Development Guide Plan should be applied	"
Super market	"	"
Shopping Complex	"	"
Restaurent	"	"
Gem and Jwellaery Centers	"	"
Open Markets	150	"
Customers Services centers (Saloon/ Beauty Salloon/Studios)	Guidelines of the Development Guide Plan should be applied	"
Prepared fish and meat stalls	"	"
Liqure shops	"	"
Communication towers on building		"
Multi storeyed car parks	250	"
Open Car park	150	"
Tourism activities		
Guest Houses	Guidelines of the Development Guide Plan should be applied	"

Urban Hotels	"	"
Tourism Hotels	250	"
i. Less than 20 rooms		"
Tourism information centers	Guidelines of the Development Guide Plan should be applied	"
Ayurvedic spas	"	"
production Industrial		
Indoor Industries	250	"
Utility Services		"
Grinding	Guidelines of the Development Guide Plan should be applied	"
Hiring Vehicle centers	"	"
laundries	"	"
Recreational Amusement		
cinema halls	Guidelines of the Development Guide Plan should be applied	"
Indoor Stadium	Guidelines of the Development Guide Plan should be applied	"

Prepared by : North Western Provincial Office, UDA 2020

8.2. Lake tourism and exclusive residential zone

8.2.1. Guidelines and Permissible Uses for the Lake tourism and exclusive residential zone


A	Development Zone	Lake tourism and exclusive residential zone
B	Zonning Definition	This This is the area dedicated for high and middle income residential people, and tourism activities has harnesse by the kurunegala lake and Ethugala scenic view area.
C	Boundaries (Cordinates)	Annexure 06
D	Zone factor	2.5
E	Permitted height	
F	Plot Coverage	Residential -50% , Non residential -50%
G	Special Guidele-nies applicable for the Zone	<ol style="list-style-type: none"> 1. Plot coverage of the building to be constructed is 50 % and rest of the 50 % shall have natural vegetation and landscaping areas. 2. All the ntural and man made canals of the zone shall be decorated and beautify by natural materials (wooden ,) and related colors for concrete and lanscape activitis  <p>Figure 8.1. : recommended picture for canal development</p> <ol style="list-style-type: none"> 3. Digital lightening system can not be used for advertisement boards of the constructed buildings or any other advertisement. 4. If a constructed building shall not have a roof , there shall be have 80 % of greenary and trees on the roof slab



Figure 8.2. : recommended picture for preparation of roof slab

5. Luminous colors are not be allowed for the exterior colour of buildings, such buildings can use natural environmental or certain range of colors are applicable
6. Natural trees and vegetation should be used as boundary walls , when the boundary walls are constructed by concrete or other constructed materials, it should be covered by the greenery of green plantation .



Figure 8.3. – Recommended picture for constructing boundary walls

7. Windows or outer corridors of the building shall be landscaped by the greenery of natural planting.



Figure 8.4.. – Recommended picture for Constructing Windows and corridors

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8.2.2. Permitted Uses for Lake Tourism and Exclusive Residential Zone

Permitted Uses	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Single Housing Units	250	According to Schedule I (form A,B and C)
Housing Compleex	500	
Apartments	500	
Hostals	500	
Office Residences/ Labors Quarters	250	
Elders /Disabled Homes	500	
Cchildren care Homes	500	
Child Care Centers	500	
Health		
Medical Care and medical consultation centers	500	According to Schedule I (form A,B and C)
Child and maternal centers	500	
Pharmacies /Laboataries	500	
Institute		
Early Childhood Development Centers	500	According to Schedule I (form A,B and C)
office Units (Gov/Semi Gov/Pvt)	250	
Auto Teller machines	250	
Social services		
Social and Cultural centers	500	According to Schedule I (form A,B and C)
Libraries	500	
Rehabilitated centers	500	
Commercial		
Retail Shops /Consumers good stalls		According to Schedule I (form A,B and C)
Restaurents	250	
Gem and jwellary centers	250	
Open Markets	250	
Customers Servces centers(Saloon/Beauty Salloon/Studios)	250	
Prepered fish and meat stalls	250	
Liquor Shops	250	
Open car parks	500	
Tourism activities		
Circuit Bunglows	250	According to Schedule I (form A,B and C)
Guset Houses	250	
Lodges	250	
Tourism Hotels		
i. less than 20 rooms		According to Schedule I (form A,B and C)
Tourism Hotels		
ii. Betweenrooms20 – 99		
Tourism Hotels		

iii. 100 and more than 100 rooms		
Tourism information centers		
Cabana hotels		
Ayurvedic spas centers		
Utility Sevises		
Hiring Vehicle centers	250	According to Schedule I (form A,B and C)
Laundry	250	
Recreational activities		
Childern Parks	500	According to Schedule I (form A,B and C)
Parks	500	
Landscape areas		
Viwewing decks		
Cinema Halls	500	
Clubs	500	
art galleries/museums	500	
Open thertres	500	
indoor sports centers	500	

Prepared by: North western provincial office, UDA 2020

8.3. Health and Medicare zone

8.3.1. Guidelines and permissible uses for Health and Medicare Zone

Table 8.3.1. Health and Medicare Zone

A	Development Zone	Health and Medicare Zone
B	Zonning Definition	Area dedicated for Health care facilities where already established government and private hospitals and related activities.
C	Boundary (Coordinate)	Annexure 07
D	Zone factor	2.75
E	Permitted Height	Visibility Analysis Map NO 7.5
F	Plot Coverage	Residental -66% , Non Residential -80%
G	Specialguidelines applicable for zone	Uses that are not Compatible with health and related activities are not allowed in this zone

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Table No 8.3.2. Permissible Uses of Health and Medicare Zone -

Permitted Uses	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Single Housing Units	150	According to Schedule I form A, B & C
Housing Complex	500	
Apartments	500	
Hostels	500	
Official Residences / Labour Quarters	250	
Day care center	250	
Health		
Medical services and consultation services	500	According to Schedule I form A, B & C
Child and Maternity Clinic	500	
Hospitals	1000	
Private Hospitals	1000	
Primary medical care Units	500	
Animal Clinic & Treatment Centres	500	
Ayurvedic Medical Centres	500	
Pharmacies/Laboratories	150	
Educational		
Early Childhood Development Centres	250	
Institutional		
Single Office Units (Gov / Private/ semi government)	150	According to Schedule I form A, B & C
Banks, Insurance and Finance Institute	250	
Auto Teller Machine	150	
Social Services		
Rehabilitated Centers	250	
Commercial		
Retail Shops / Consumers goods selling centers	150	According to Schedule I form A, B & C
Super markets	250	
Shopping Complex	250	
Restaurants	150	
Open Markets	250	
Consumer Services Centers (Hair Cuts salon/Beauty Saloon/studios)	150	
Prepared meat and fish stalls	150	
Filling Stations	500	
Filling Stations and shopping complex	500	
Gem and Jewellery Centers	150	

Filling Stations and vehicle services centers	500	
Gas Filling Stations and Electricity Planning Centre	250	
Communication Towers on building	150	
Multi story Car Parks	250	
Open car Parks	250	
Vehicle Show rooms	500	
Funeral flours	500	
Funeral Halls/ Reception Halls	500	
Tourism activities		
Guest Houses	250	According to Schedule I form A, B & C
Circuit Bungalows	250	
Ayurvedic spa centers	250	
Utility Services		
Rental vehicle services centers	250	According to Schedule I form A, B & C
Laundaries	150	
Recreational activities		
Children parks	750	According to Schedule I form A, B & C
Parks	-	
Landscape areas	-	
Viewing decks	-	
Indoor Stadiums	250	

Prepared by : North Western Provincial Office, UDA 2020

8.4 Special Development Zone

8.4.1. Guidelines and Permissible Uses for Special Development Zone

Table 8.4.1. Guidelines for Special Development Zone

A	Development zone	Special Development Zone
B	Zonning Definition	Area with the modern urban activities, which may occur in the urban transformation within kurunegala city in future.
C	boundaries (Coordinates)	Annexure 05
D	Zone factor	2.75
E	Permitted Height subject to	7.5 visibility map should be applied
F	Plot Coverage	Residential -66% , Non Residential -66 %
G	Special guideline s applica-ble for the zone	Activities are allowed compatible for the new city with modern features

Prepared by: North Western Provincial Office, UDA 2020

Table 8.4.2 - Permissible Uses for Special Development Zone

Permitted Use	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Single Housing Units	150	According to Schedule I form A, B & C
Housing Complex	500	
Apartments	500	
Hostels	500	
Official Residences / Labour Quarters	250	
Child Care Centres	250	
Health		
Hospitals	1000	According to Schedule I form A, B & C
Private Hospitals	1000	
Animal Clinic and treatment Centers	250	
Ayurvedic Treatment Centers	250	
Pharmacies / Laboratories	250	
Educational		
Research and development Centers	250	
Private Tuition Classes - 1000	1000	
Other Education Centre (Art Institutions / Theaters)	500	
Institutional		
Single Offices (Government / Semi Gov./ Private)	250	According to Schedule I form A, B & C
Office Complex (Government or Semi Gov / Private)	1000	
Banks insurance and Financial Institutions	500	
Auto teller machines	250	
Social Services		
Auditorium and conference Halls	1000	
Commercial		
Retail Shops / Consumers goods selling centers	250	According to Schedule I form A, B & C
Super markets	1000	
Shopping Complex	500	
Restaurants	250	
Gem and Jewellery Centers	250	
Open Markets	1000	
Liquor shops	250	
Building material selling Centers	500	
Filling stations	500	

Filling Stations and Shopping Complex	1000	
Filling Station with Vehicle Service Centres	1000	
Gas Filling Stations and Electricity Plan- ning Centre	250	
Communication Towers on building	250	
Multistory Car Parks	1000	
Open Car Parks	500	
Vehicle Show Room	500	
Tourism		
Lodges	500	According to Schedule I form A, B & C
Guest House	250	
City Hotels	250	
Tourism Hotels	500	
i. Less than 20 rooms	1000	
Tourism Hotels		
ii. Between 20 – 99 rooms	1000	
Tourism Hotels		
iii. More than 100 Rooms	250	
Tourism Information centers	250	
Kabana Hotels	500	
Ayurvedic Spa centers	250	
Utility Services		
Railway and Bus Stations / Bus Halts	1000	According to Schedule I form A, B & C
Vehicle rent services	250	
Vehicle repair center/ Light vehicle	500	
Recreational Activities		
Children Parks	500	According to Schedule I form A, B & C
Parks	-	
Landscape areas	-	
Viewing Decks	-	
Cinema Halls	500	
Clubs	500	
Art Gallery /Museums	500	
Open Air Theaters	1000	
Indoor Stadiums	500	

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8.5. Mix Development Zone 01

8.5.1. Guidelines and Permissible uses for Mix Development Zone 01

Table 8.5.1. Guidelines for Mix Development Zone 01

A	Development Zone	Mix Development Zone 01
B	Zoning Definition	A Zone set aside to facilitate for residential and commuter population in a high density level within the Kurunegala MC area
C	Boundary (Coordinates)	Annexure 09
D	Zone factor	2.75
E	Permitted Height	Subject to visibility analysis map no 7.5
F	Plot Coverage	Residential -66% , Non Residential -80%
G	Special Guidelines applicable for zone	If development application is submitted as per the 8.5.3. Permitted uses, the authority has the power to approve or reject the application considering surrounding land use and social issues.

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Table 8.5.2. Permissible Uses for Mix Development Zone

Permitted Uses	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Single Housing Units	150	According to Schedule I form A, B & C
Housing Complex	250	
Apartments	500	
Hostels	250	
Office residences/Labour Quarters	150	
Elders / Disabled Houses	500	
Children's Home	500	
Child Care Centres	250	
Health		
Medical care and Medical Consultation Centre	250	According to Schedule I form A, B & C
Child and Maternity Clinic	250	
Hospitals	1000	
Private Hospitals	1000	
Primary Health Care Units	250	
Animal Clinic & Treatment Centres	250	
Ayurvedic Medical Centres	250	
Pharmacies/ Laboratories	150	
Educational		
Early Childhood Development Centres	500	According to Schedule I form A, B & C
Private Tution Classes	500	
Other Education Centre (Art Institutions / Theaters)	500	
International schools	1000	
Primary Education Centres	1000	
Secondary Education Centres	1000	
Tertiary Education Centres	1000	
Technical Colleges / Vocational Training Institutions	1000	
Research and Development Centres	500	
Institutional		
Single Offices (Government / Semi Gove./ Private)	150	According to Schedule I form A, B & C
Office Complexes(Government / Semi Gove./ Private	1000	
Banks Insurance and Finance Institute	250	
Auto Teller Machine	150	

Social Services		
Community Development Centres	250	According to Schedule I form A, B & C
Social & Cultural Centres	250	
Auditorium and Conference Halls	1000	
Libraries	500	
Rehabilitation Centers	250	
Commercial		
Retail Shops/ Consumer Goods selling Cen- ters	150	According to Schedule I form A, B & C
Super Markets	500	
Shopping Complex	500	
Restaurents	100	
Gem and jewellery centers	150	
Open markets	250	
Ware House	1000	
Stores	1000	
Consumer Services Centers (Hair Cut Sallons/ Beauty Saloons/Studios)	150	
Fish and meat stalls	150	
Prepered Fish and mea stalls	150	
Liqure Shops	150	
Building Matreial Selling Shops	250	
Filling Stations	500	
Filling Station with Shopping Complex	1000	
Filling Station with Vehicle Service Centres	1000	
Gas Filling Stations and Electricity Planning Centre	150	
Communication Towers on building	150	
Communication Towers	250	
Multistory Car Parks	500	
Open Car Parks	500	
Vehicle Show Room	500	
Funeral Flour	250	
Funeral Hall / Reception Hall	500	
Tourism		
Circuit Bunglow	250	According to Schedule I form A, B & C
Guest Houses	250	
Leisure Houses	250	
Tourism Hotels	500	
i. Less than 20 rooms		
Tourism Hotels	1000	
ii. Between 20 -99 Rooms		

Tourism Hotels	1000	
iii. 100 rooms and above 100 Rooms		
Tourism Information Centers		
Kabana Hotels		
Ayurvedic medical Spas		
Industriues		
Domestic Industries	250	
Utility services		
Railway and bus terminals / Bus stop	1000	According to Schedule I form A, B & C
Grinding/ milling	250	
Vehicle rent services	250	
Laundry / Cloths cleaning centres	150	
Vehicle repair centres	500	
Three Wheeler and Motor Cycle repair centrs	500	
Electrical Appliance repair centres	250	
Recreational Amusement		
Children Park	500	According to Schedule I form A, B & C
Parks	-	
Landscape areas	-	
Viewing Decks	-	
Cinema Halls	500	
Clubs	500	
Art Gallery / Museums	500	
Open Theaters	500	
Indoor Stadiums	250	

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8.6. Mix Development Zone 02

8.6.1. Guidelines and permissible uses for Mix Development Zone 02

Table 8.6.1. Guidelines for Mix Development Zone 02

A	Development Zone	Mix Development Zone 02
B	Zoning Definition	A dedicated zone where outer of kurunegala Municipal council to facilitated for the residential demand.
C	Bounadries (Coordinates)	As in attachment 10
D	Zone Factor	2.5
E	Permitted Height	Subject to visibility analysis map no 7.5
F	Plot Coverage	Residentail -66% , Non Residentail -80%
G	Special Guidelines applicable for the zone	If development application is submitted as per the 8.6.2. Permitted uses, the authority has the power to approve or rejeet the application considering surrounding land use and social issues.

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Table 8.6.2. Permissible Uses for Mixe Developemnt Zone 02

Permitted Use	Other/ Minimum Plot Sizes (Sq.m	Achievable maximum floor area
Residential		
Single Housing Units	150	According to Schedule I form A, B & C
Housing Complex	250	
Apartments	500	
Hostels	250	
Office residences/Labours Quarters	150	
Elders/ disabled Homes	500	
Childern's Home	500	
Child Care Centers	250	
Health		
Medical cares and Medical Consultation Centre	250	According to Schedule I form A, B & C
Child and Maternity Clinic	250	
Hospitals	1000	
Privete Hospitals	1000	
Primary Health care Units	250	
Animal Clinic & Treatement Centers	250	
Ayurvedic Medical centers	250	
Pharmacies / Laborataries	150	
Educational		
Early Childhood Development Centres	500	According to Schedule I form A, B & C
Tution Classes	500	
Other Education Centre (Art Institutions / Theaters)	500	
International Schools	1000	
Primary Education Centres	1000	
Secondary Education Centres	1000	
Tertiary Education Centres	1000	
Technical Colleges / Vocational Training Institutions	1000	
Research and Development Centres	500	
Institutional		
Single Unit Offices (Gov / Privete/ Semi Gov)	150	According to Schedule I form A, B & C
Office Complexes (Gov / Privete/ Semi Gov)	1000	
Banks Insurance and Finance Institute	250	
Auto Teller Machine	150	

Social Services		
Community Development Centres	250	According to Schedule I form A, B & C
Social & Cultural Centres	250	
Religious Centres	1000	
Auditoriumn and Conference Hall	1000	
Libraries	500	
Rehabilitation Centers	750	
Crematorium	1000	
Cemeteries	1000	
Commercial		
Retail Shops/ Consumer goods selling Centers	150	According to Schedule I form A, B & C
Super market	500	
Shopping Complex	500	
Restaurents	150	
Gem and Jwellery Centers	150	
Open Markets	250	
Ware Houses	1000	
Stores	1000	
Consumer Service Centres (Hair Cuts saloon, Beauty Sallon, ... etc)	150	
Meat and Fish Sales	150	
Prepared Meat and Fish Sales	150	
Liquor Shops	150	
Building Material Sales	250	
Filling Stations	500	
Filling Station with Shopping Complex	1000	
Filling Stations Vehicle Service Centres	1000	
Gas Filling Stations and Electricity Planning Centre	150	
Communication Towers on building	150	
Communication Towers	250	
Multistory Car Parks	500	
Open car Parks	500	
Vehicle Show Room	500	
Funeral Falour	250	
Funeral Hall / Reception Hall	500	
Tourism Activities		
Circuit Bungalows	250	According to Schedule I form A, B & C
Guest Houses	250	
Lodges	250	
Tourism Hotels	500	
i. Less than 20 rooms		

Tourism Hotels	1000	
ii. Between 20 -99 Rooms		
Tourism Hotels	1000	
iii. 100 rooms and above 100 Rooms		
Tourism Information Centers	150	
Kabana Hotels	250	
Ayurvedic medical Spas	150	
Industries		
Domestic Industries	250	According to Schedule I form A, B & C
Cement Blocks, Concrete Kolin related products	500	
Clay related products	500	
Natural fibres and related products	500	
Clothing Accessories and , leather Products	500	
Paper Productas and Printig related Industries	1000	
Industries related production wood, wooden goods	1000	
Industries related to production of food and non alcoholic beverages	1000	
Utility services		
Grinding/ milling	250	According to Schedule I form A, B & C
Vehicle renting Services	250	
Laundry and Cloths cleaning centres	150	
Vehicle repair centres	500	
Three Wheeler and Motor Cycle repair centrs	500	
Electrical Appliance repair centres	250	
Recretaional amusement		
Childen park	500	According to Schedule I form A, B & C
park	-	
Landscape areas	-	
Viewing Decks	-	
Clubs	500	
Open air thertres	500	
Art Gallery / Museums	500	
Indoor stadiums	250	

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8.7. Mix Development Hinterland Zone

8.7.1. Guidelines and Permissible uses for Mix Development Hinterland Zone

Table 8.7.1. Guidelines for Mix Development Hinterland Zone

A	Development Zone	Mix Development Hinterland Zone 02
B	Zoning Definition	Area identified as an urban centers and hinterland away from kurunegala where supply daily necessities and services to the surrounding population. .
C	Boundaries (Coordinates)	Annexure 11
D	Zone Factor	2.0
E	Permitted Height	-
F	Plot Coverage	Residential -66% , Non Residential -80%
G	Special Guidelines applicable for the zone	If development application is submitted as per the 8.7.2. Permitted uses, the authority has the power to approve or reject the application considering surrounding land use and social issues.

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Table 8.7.2. Permissible Uses for Mix Development Hinterland Zone 02

Permitted Use	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Single Housing units	150	According to Schedule I form A, B & C
Housing complex	250	
Apartments	500	
Hostels	250	
Offices Residences/labors Quarters	150	
Elders/ Disabled Houses	500	
Children Homes	500	
Child care centers	250	
Health		
Medical care and medical consultation Centers	250	According to Schedule I form A, B & C
Child and maternal clinic centers	250	
Hospitals	1000	
Private Hospitals	1000	
Primary Health Care Units	250	
Animal Clinic & Treatment Centres	250	
Ayurvedic Medical Centres	250	
Pharmacies/ Laboratories	150	
Educational		
Early Childhood Development Centres	500	According to Schedule I form A, B & C
Private tuition classes	500	
Other Education Centre (Art Institutions / Theaters)	500	
International Schools	1000	
Primary Education Centres	1000	
Secondary Education Centres	1000	
Tertiary Education Centres	1000	
Technical Colleges / Vocational Training Institutions	1000	
Research and Development Centres	500	
Administration		
Single Unit Offices (Gov/ Semi Gov / Private)	150	According to Schedule I form A, B & C
Office Complex (Gov/ Semi Gov / Private)	1000	
Banks Insurance and Finance Institute	250	
Auto Teller Machine	150	

Social Services		
Community Development Centres	250	According to Schedule I form A, B & C
Social & Cultural Centres	250	
Auditoriumn and conference Halls	1000	
Libraries	500	
Rehabilitation centers	250	
Cemetries	1000	
Commercial		
Retail Shops/ Consumers good centers	150	According to Schedule I form A, B & C
Super markets	500	
Shppping Complex	500	
Restaurents	150	
Gem and jewellery centers	150	
Open markets	250	
Ware houses	1000	
Stores	1000	
Consumer Service Centres (Hair salon/ beauty salon, studios)	150	
Meat and Fish Sales	150	
Prepared Meat and Fish Sales	150	
Liqure Shops	150	
Building material sales shops	250	
Filling Stations	500	
Filling Station with Shoping Complex	1000	
Filling Stations Vehicle Service Centres	1000	
Gas Filling Stations and Electricity Planning Centre	150	
Communication Towers on building	150	
Communication Towers	250	
Multistory Car Parks	500	
Open Car Parks	500	
Vehicle Show Room	500	
Funeral Falour	250	
Funeral Hall / Reception Hall	500	
Tourism		
Circuit Bungalow	250	According to Schedule I form A, B & C
Guest Houses	250	
Lodges	250	
Tourism Hotels	500	
i. Less than 20 rooms		
Tourism Hotels	1000	
ii. Between 20 -99 Rooms		

Tourism Hotels	1000	
iii. 100 rooms and above 100 Rooms		
Tourism Information Centers	150	
Kabana Hotels	250	
Ayurvedic spa centers	150	
Industries		
Domestic Industries	500	According to Schedule I form A, B & C
Cement Blocks, Concrete Kolin related products	1000	
Clay related products	1000	
Industries related production wood, wooden goods	1000	
Industries related to production of food and non alcoholic beverages	1000	
Utility Services		
Grinding/ Paddy milling	250	According to Schedule I form A, B & C
Hiring Vehicle centers	250	
Laundry / Cloths cleaning centres	150	
Vehicle repair centres /	500	
Three-Wheeler and Motor Cycle repair centrs	500	
Electrical Appliance repair centres	250	
Recreationa amusement		
Childeren Parks	500	According to Schedule I form A, B & C
Parks	-	
Landcape areas	-	
Viewing Decks	-	
Cinema Hall s	500	
Clubs	500	
Art Gallery / Museums	500	
Open Theaters	500	
Indoor Stadiums	250	

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8.8. Mix Residential Zone

8.8.1. Guidelines and permissible uses for Mix residential zone

Table 8.8.1 Guidelines for Mix residential zone

A	Development Zone	Mix Residential Zone
B	Zonning Definition	Dedicated zone for residentila activiries in a freely manner.
C	Boundaries (Coordinates)	Annexure 12
D	Zone factor	1.25
E	permitted Height	
F	Plot Coverage	Residential -66% , Non Residential -80%
G	Special Guidelines appli- cable for the zone	<p>If development application is submitted as per the 8.8.2. Permitted uses, the authority has the power to approve or rejet the appli- cation considering surrounding land use and social issues.</p> <p>At least two coconut trees should be planted and the certificate of conformity should be obtained during the development activities of subdivisions for residential use.</p>

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Table 8.8.2. Permissible Uses for Mix Residential Zone

Permitted Use	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Single Housing units	250	According to Schedule I form A, B & C
Housing complex	500	
Apartments	1000	
Hostels	500	
Offices Residences/labors Quartes	250	
Elders/ Disabled Houses	500	
Childern Homes	500	
Child care centers	250	
Health		
Medical care and medical consultation Centers	250	According to Schedule I form A, B & C
Child and maternal clinic centers	250	
Hospitals	1000	
Privete Hospitals	1000	
Primary Health Care Units	500	
Animal Clinic & Treatment Centres	500	
Ayurvedic Medical Centres	500	
Pharmacies/ Laboratories	250	
Educational		
Early Childhood Development Centres	500	According to Schedule I form A, B & C
Private tution classes	500	
Other Education Centre (Art Institutions / Theaters)	500	
International Schools	1000	
Primary Education Centres	1000	
Secondary Education Centres	1000	
Tertiary Education Centres	1000	
Technical Colleges / Vocational Training Institutions	1000	
Research and Development Centres	500	
Admiistration		
Single Unit Offices (Gov /Semi Gov / Private)	250	According to Schedule I form A, B & C
Banks Insurance and Finance Institute	500	
Auto Teller Machine	250	
Social Services		

Community Development Centres	250	According to Schedule I form A, B & C
Social & Cultural Centres	250	
Religious Centres	250	
Libraries	500	
Regeneration Centers	500	
Crematorium	500	
Cemeteries	1000	
Commercial		
Retail Shops/ Consumer goods selling centers	250	According to Schedule I form A, B & C
Super markets	500	
Restaurants	250	
Gem and jewellery centers	250	
Open markets	500	
Consumer Service Centres (hair and beauty saloons, studios)	250	
Meat and Fish Sales	250	
Prepared Meat and Fish Sales	250	
Liquor shops	250	
Building material sales shops	250	
Filling Stations	500	
Filling Station with Shopping Complex	1000	
Filling Station with Vehicle Service Centres	1000	
Gas Filling Stations and Electricity Planning Centre	250	
Communication Towers on building	250	
Communication Towers	250	
Multistorey Car Parks	500	
Open car parks	500	
Vehicle Show Room	500	
Funeral Parlour	500	
Funeral Hall / Reception Hall	1000	
Tourism Activities		
Circuit Bungalows	250	According to Schedule I form A, B & C
Guest Houses	250	
Lodges	250	
Tourism Hotels	500	
i. Less than 20 rooms		
Tourism Hotels	1000	
ii. Between 20 -99 Rooms		
Tourism Hotels	1000	
iii. 100 rooms and above 100 Rooms		

Tourism Information Centers	150	
Kabana Hotels	250	
Ayurvedic medical Spas	150	
Industries		
Domestic Industries	500	According to Schedule I form A, B & C
Cement Blocks, Concrete Kolin related products	500	
Clay related products	500	
Industries related production wood, wood-en goods	500	
Industries related to production of food and non alcoholic beverages	500	
Utility Seviles		
Grinding/ milling	250	According to Schedule I form A, B & C
Hiring vehicle centre	250	
Laundry / Cloths cleaning centres	250	
Vehicle repair centres		
i. Light Vehicles	500	
ii. Heavy Vehicles	1000	
Three Wheeler and Motor Cycle repair centres	500	
Electrical Appliance repair centres	250	
Recreatioanl Amusement		
Children parks	500	According to Schedule I form A, B & C
Parks	-	
Landscape areas	-	
Viewing decks	-	
Open air thertres	500	
Indoor Stadiums	500	
Art Gallery /Museums	500	

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8.9. Industrial Zone

8.9.1. Guidelines and permissible uses for Industrial Zone

Table 8.9.1. Guidelines for Industrial Zone

A	Development Zone	Industrial Zone
B	Zonning Definition	Area dedicated for Industrial and related activities
C	Boundaries (Coordinates)	Annexure 13
D	Zone factor	2
E	Permitted Height	
F	Plot Coverage	Non Residential -80%
G	Special guidelines aplicable for the zone	As mentioned in the Zonning plan in each industrial zone have a 10m building line from boundary to internal as a buffer zone and should be maintained as a green strip with tree planting within that limit. Development for existing residential units are permitted within the zone..

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8.9.2. Permissible Uses for Industrial Zone

Permitted Uses	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Hostel	500	
Office Residences/ Labor Quarters	250	
Educational		
Technical Colleges / Vocational Training Institutions	1000	According to Schedule I form A, B & C
Research and Development Centres	500	
Commercial		
Ware Houses	1000	According to Schedule I form A, B & C
Stores	1000	
Filling Stations	500	
Multi Storeyed Car Parks	500	
Open Car parks	500	
Auto Teller Machine		
Industries		
Domestic Industries	1000	According to Schedule I form A, B & C
Cement Blocks, Concrete Kolin related products	1000	
Clay related products	1000	
Metal Products and Casting Extraction Industries	1000	
Oil refineries and petroleum-based chemicals and distilleries	1000	
Industries related to chemicals, polythine, plastic, rubber and glass	1000	
Industries related production of natural fiber	1000	
Clothes, garment and other production	1000	
Industries related to electricity electronic goods production	1000	
Industries related to production and assembling of heavy machineries	1000	
Industries related production of papers and printing activities	1000	
Industries related production wood, wooden goods	1000	
Industries related to production of food and non alcoholic beverages	1000	
Industries related to production of indigenous medicine sprit and essence	1000	
Industries related to recycling activities	1000	
Industries related to provision of infrastructure facilities	1000	
Recreational Amusement		
Parks		
Landscape areas		

8.10 Low density Residential Zone

8.10.1. Guidelines and Permissible Uses for Low Density residential zone

Table 8.10.1. Guidelines for Low Density Residential Zone

A	Development Zone	Low Density Residential Zone
B	Zonning Definition	Dedicated zone to maintain natural population growth while preserving existing natural ecosystems
C	Boundaries (Coordinates)	Annexure 14
D	Zone Factor	1
E	Permitted Height	
F	Plot Coverage	Residential 66% , Non Residential 66%
G	Special Guidelines Applicable for the Zone	At least two coconut trees should be planted and the certificate of conformity shall have obtained during residential subdivision and related activities. Environmentally friendly developments are permitted without disturbance to existing residences Subdivision of fertile coconut lands over 5 acres is not permitted.

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Table 8.10.3. Permissible Uses for Low Density Residential Zone

Permitted Uses	Other/ Minimum Plot Sizes (Sq.m)	Achievable maximum floor area
Residential		
Single Housing Units	250	According to Schedule I form A, B & C
Office residences/Labours Quarters	250	
Elders / Disabled Houses	500	
Childrens Home	500	
Child care Homes	500	
Health		
Medical care and Medical Consultation Centers	500	According to Schedule I form A, B & C
Child and maternal clinic centers	500	
Animal Clinic & Treatment Centres	500	
Ayurvedic Medical Centres	500	
Hospital	1000	
Pharmacies/ Laboratories	250	
Educational		
Early Childhood Development Centres	500	According to Schedule I form A, B & C
Private tuition classes	500	
Other Education Centre (Art Institutions / Theaters)	500	
International Schools	1000	
Primary Education Centres	1000	
Secondary Education Centres	1000	
Technical Colleges / Vocational Training Institutions	1000	
Research and Development Centers	1000	
Administration		
Single Unit Offices (Gov/Semi Gov/Private)	250	According to Schedule I form A, B & C
Auto Teller machines	250	
Social Services		
Community Development Centres	500	According to Schedule I form A, B & C
Social & Cultural Centres	500	
Religious Centres	1000	
Libraries	500	
Rehabilitated Centers	1000	
Crematorium	1000	
Cemeteries	1000	

Commercial		
Retail Shops/ Consumer goods selling centers	250	According to Schedule I form A, B & C
Super markets	500	
Restaurents	250	
Gem and jewellery centers	250	
Open markets	500	
Consumer Service Centres (hair and beauty saloons, studios	250	
Meat and Fish Stalls	250	
Liqure Shops	250	
Building Material selling centers	250	
Filling Stations	500	
Filling Station with Vehicle Service Centres	1000	
Gas Filling Stations and Electricity Planning Centre	250	
Communication Towers on building	250	
Communication Towers	250	
Open Markets	250	
Funeral Falour	500	
Funeral Hall / Reception Hall	1000	
Tourism		
Circuit Bungalows	250	According to Schedule I form A, B & C
Guest Houses	250	
Lodges	250	
Tourism Hotels	500	
i. Less than 20 rooms		
Tourism Hotels	1000	
ii. Between 20 -99 Rooms		
Tourism Hotels	1000	
iii. 100 rooms and above 100 Rooms		
Tourism Information Centers	150	
Kabana Hotels	250	
Ayurvedic medical Spas	150	
Industries		
Domestic Industries	500	According to Schedule I form A, B & C
Clay related products	500	
Natural Fibres related Industries	500	
Clothes, garment and other production	500	
Cement Blocks, Concrete Kolin related prod-ucts	1000	
Paper Productas and Printig related Indus-tries	1000	

Industries related production wood, wooden	1000	
Industries related to production of food and non alcoholic beverages	1000	
Industries related to recycling activities	1000	
Utility Services		
Grinding/ Paddy milling	250	According to Schedule I form A, B & C
Hiring Vehicle Centers	250	
Laundaries/ Cloth cleaning Centers	250	
Vehicle repair centers		
i. Light Vehicles	500	
Three Wheeler and Motor Cycle repair centres	500	
Electrical Appliance repair centres	500	
Recreation and Amusement		
Children Park	1000	According to Schedule I form A, B & C
Park	-	
Landscape areas	-	
Viewing Decks	-	
Art Gallery/Museum	1000	
Open Air Theatres	1000	
Indoor Stadium	500	
Agriculture		
Livestock re-production / Crop farms	1000	

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8.11. Paddy Cultivation and Wetland agricultural zone

8.11.1. Permissible Uses for paddy cultivation and wetland agricultural Zone

Table 8.11.1. Guidelines for paddy cultivation and wetland agricultural Zone

A	Development Zone	Paddy Cultivation and wetland agricultural zone
B	Zonning Definition	This zoning is valid only for paddy lands located in the Kurunegala Planning Area.
C	Bounadries (Coordinates)	Annex 16-1
D	Zone Factor	0
E	Permitted Height	
F	Permitted Uses	<ol style="list-style-type: none"> 1. Permitted uses relevnt to the agricultural Developmanr act where Existing cultivated Paddy lands, abondund paddy lands in related areas such as Deniya, Ovita and etc . 2. Wetland related agriculture 3. Epyphytic cultivation 4. Eco Friendly aquaculture ponds
G	Special Guidelines Applicable for the Zone	<ol style="list-style-type: none"> 1. The paddy lands permitted to be reclaimed within the Municipal council limits are in accordance with 8.11.3. The respective of paddy lands should be in accordance with the drainage plan No 39/ DR – (138 -152) prepared by the Sri Lanka Land Reclamation and Development Corporation in 2008 march. 2. The following guidelines should be followed regarding paddy lands identified for national development projects in the Kurunegala planning area, paddy lands identified under this plan for development projects or paddy lands applied for development for any other purpose. 3. Approval should be obtained before filling the low land/ abondund paddies and cultivated paddy development from Sri Lnaka Land reclamation and Corperation, Central Environmental Authority, Urban Development Authority, Kurunegala Municipal Council/ kurunegala Pradeshiya Sabha , Department of Wildlife Conservation, Department of Agrarian Services.

G	Special Guidelines Applicable for the Zone	<ol style="list-style-type: none"> 4. Any construction that interferes with drainage and flood retention capacity should not be carried out in wetlands or waterways. However, according to a master plan or a special guideline plan, the approved construction should be carried out subject to the recommendation and approval of the relevant authorities so as not to interfere with special projects or flood and flood carrying capacity approved by the Urban Development Authority. 5. Areas of special ecological interest shall be preserved and in such areas no vegetation or animals except invasive species of plants and animals shall be removed. 6. All permitted buildings shall be designed according to the Green Building Concept. 7. Alternative locations should be appropriately installed to offset the reduction in water retention capacity and (other impact) environmental impacts on approved use in all wetlands where water retention capacity is particularly important. 8. Mechanical boats, fishing gear, fuel or other vessels should not be used in the process of catching fish or other aquatic life other than conventional fishing. 9. Garbage disposal in wetlands is not permitted. (Domestic, Institutional, industrial, commercial, electronic, and clinical waste) 10. Waste water discharging is not allowed in wetlands. 11. The Planning Committee of the Authority shall have the power to reject any development work which does not conform to the guidelines and specifications issued by the Planning Committee. 12. after developing the existing paddy lands in zones 8.1 to 8.10 of this plan in accordance with the above guidelines, the guidelines of the relevant zone will apply.
H	Other Facts	<p>The Planning Committee of the Authority may consider approving any development work In the case of urban development that directly affects the development work of the area and that can be developed using development strategies(on-site construction) without interfering the wetland regulations and with the recommendations of all other relevant agencies.</p>

Prepared By : Environmental and Landscape Division ,
North western Provincial office UDA 2020



Development Guide Plan
and Guidelines for Special
Commercial Zone

9.0. Development Guide Plan and Guidelines for Special Commercial Zone

This Development guide plan is relating to the special commercial zone of the Zoning Plan of the Kurunegala Development Plan.

9.1. Planning Approach for the special commercial zone

The Special commercial zone has identified in the Kurunegala city center is a city that has historically existed. This Zone, where centered by main five roads has been identified as a special commercial zone due to aforesaid uniqueness and speciality.

This part has derived where high density development activities are much concentrated. It is expected to develop this zone under a special guide plan and efficient services for daily migrant population who are coming to the city and measures will be taken to identify the major problems that have been arisen.

Identified major problems are,

- i. Congestion and pressure of the city due to the existence of 1 perch, 2 perch commercial lots.
- ii. Most of the building doesn't have back spaces and building lines
- iii. No lanes for pedestrians
- iv. Lack of safety and security for pedestrian in several lanes.

The basic concept of the special guide plan is, to make the city healthier, safer and comfortable and pedestrian friendly place those who are coming to the city for getting services. Accordingly, Special guidelines will be introduced for main Criteria as mention below.

01. A Comfortable city for people

- ▶ Establish vehicle parks to minimize the vehicle congestion
- ▶ Enhance the walkability within the city
- ▶ Providing recreational amusement activities and enhance the social interaction in order to minimize tiredness and fatigue due to the urban congestion

02. An environmentally and mentally healthiest city

- ▶ Create shady areas, more greenery areas to reduce mental and physical fatigue
- ▶ Establish green lanes beside the canals to reduce the environmental heat and to make the city as a more attractive place.

03. A Safer City for pedestrian,

- ▶ Construction of safety walkable paths.
- ▶ To make the roads safer for pedestrians by having building facades on both sides of each roads
- ▶ Construction of fire exits on emergency fires

04. A Walkable City,

- ▶ Identified Walkable lanes and make them shadier and more attractive way

9.1. Conceptual Diagram of Guide Plan

Map No. 9.1. Concept of Development Guide plan and guidelines



Source: Urban Development Authority North Western provincial Office, 2020

9.2. Building Guidelines**9.2.1. Building Line**

1. Newly Constructed Buildings should be limited to the building line of the relevant roads according to the table 9.1
2.
 - i. If the Parking Facilities for the Proposed Development Activity are shown in another land within this zone, can be allowed.
 - ii. As mentioned in 2. I, If the parking Facilities are shown in another land

parcel for the proposed development activity, both existing parking facilities and parking facilities for the proposed development activity should be shown in the same site.

- iii. As mentioned in 2. I & II, If unable to show the required parking facilities within the site, relevant fees for the parking facilities should be granted for the common Joint account of the Urban Development Authority as per the Gazette notification No 2235/54 (2021.07.08)

3. Building lines have been identified as follows

Table No 9.1. Building Lines for Special Commercial Zone

Name of the road	Building line (from the center of road)
1. Main Street	9 m
2. Maliyadeva Street	3m
3. Maliyadewa street (Infront of the bus stand)	9m
4. Perakumba Street	9m
5. Church Road	3m
6. Dr. Silva Road	6m
7. Chathurashra Mawatha	8m
8. Bodhiraja Road	9m
9. St. Annes Road	8m
10. Negombo road	15m
11. Puttalam Road	15m
12. Dambulla road	15m
13. Wan.Ela Service road	3m

Figure No. 9.2 Relationship between New Buildings and the Edge of the Street

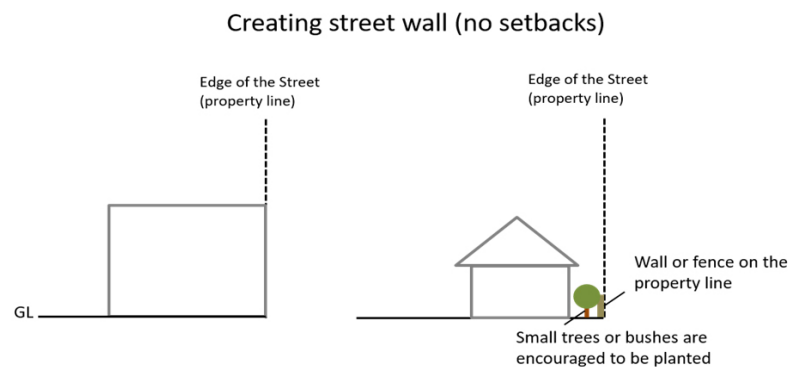
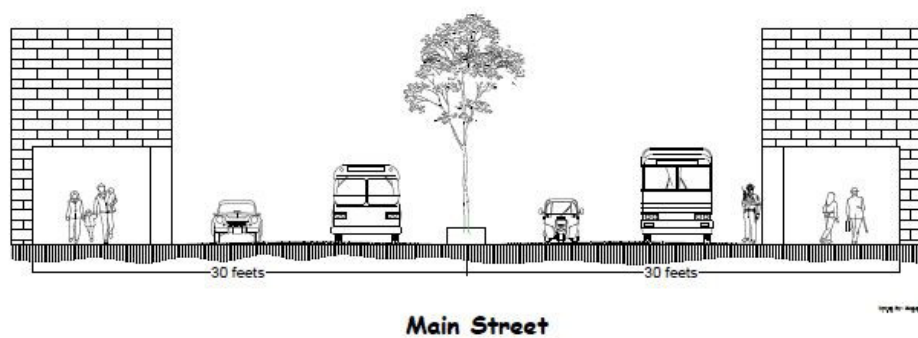


Figure 9.3 Main Street



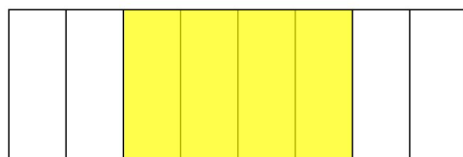
Source: Urban Development Authority North Western provincial Office, 2020

9.2.2. Facades of the building

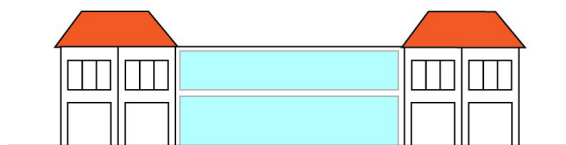
- I. Facade of the building constructed within the zone should not be flat.
(Should be finished with roof)
- II. If the Building Constructed in amalgamated land plot, facades of the building should not be flat (Should be finished with a roof)

Figure 9.4 Permissible and non permissible facades of Buildings

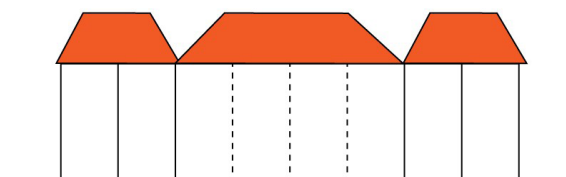
Block and lots



Street Elevation



Not acceptable: too wide facade



OK: Segmentation of the facade design

9.2.3. Building Heights

- 9.2.3.1. Approvals are given for the existing plots in the Special Commercial Zone According to the specifications given by Table 9.2.
- 9.2.3.2. When designing space of the buildings, rain water line from the roof to the drainage of the road; should be clearly shown in the building plan
- 9.2.3.3. Conditions shown in the (i) of table 9.2 are applicable to the existing plots less than 150 sq.m in special commercial zone. In case of minimum plot size is 6 perch or more than that; permitted Floor Area is calculated by the zone factor of Mix development zone.

Table No 9.2.. – Standards for Lots

Classifi- cation of Building	Mini- mum Plot Size Sq. m	Maxi- mum no of storey	Max Heights (m)	Plot Cover- age	Mim- imum Building Front- age(m)	others
I	0 -149	G+3	15	-	-	Approval is given only for existing plots.
IV	above 150	05	17	80%	06	

Figure 9.5 Zones for building height control



Source: Urban Development Authority North Western provincial Office, 2020

9.2.4. Colours for the buildings

Colors that are used for the exterior and roofs define the impression of the overall building. such buildings are allowed to use range of light and dark colors within this zone.

Terms of colours

- I. Colours of the new building can be controlled by exterior wall, accent items (e.g. doors and window sills) and roofing materials (e.g. clay tile).
- II. In the same manner, the roofs of new buildings should be red or orange clay tiles,

Figure 9.6 Allowable hue for both exterior wall and roof



9.2.5. Rear space & open spaces of the building

Side space and rear space of existing buildings in the Special Commercial Zone have been identified as a complex zone to implement the urban development guidelines.

According to the figure 9.7 Maha Veediya, Maliyadewa Veediya, Perakumbha Veediya, Sent Ana Street, Mihindu Mawatha, Mosque Street, Kadireshan Kovila Para, Colombo Road, Puttalam Road and Negombo Road are included to this zone. The following issues are identified by the studying rear and open spaces of the building of this zone.

Figure 9.7 Identified areas for rear spaces in buildings



Source: Urban Development Authority North Western provincial Office, 2020

- I. Should have developed columnar less than the standard face width.
- II. Opening to two lanes at the front and back of the building.
- III. Lack of back space in some places.

It is proposed that the following steps to be taken for the resolving the above identified issues.

1. As shown in figure 9.8 and 9.9 guideline plans, Permission for development activities will be considered for newly constructed buildings at Main road (Part) Perakumba Street, Church road, Maliyadeva Road, Dr Silva road (Part), Bodhiraja Mawatha, Putalam Road, (Part) Negombo road (Part)

- 1.1 It is proposed to construct a 4 feet corridor that can be easily access by pedestrians according to guide plans and It is also proposed that these corridors cover the amount of rear space and side space requirements required for the building.

Provision of the Corridor can be as follows;

- I. If the development activity is proposed for one plot, it should be provided 4ft of side space for the corridor.
 - II. If two development activities occur in adjoining lands, it should be provided a 2ft of each side space to make 4ft Corridor.
- 1.2 The Authority will determine the direction in which this space should be allocated in the plans submitted for approval,

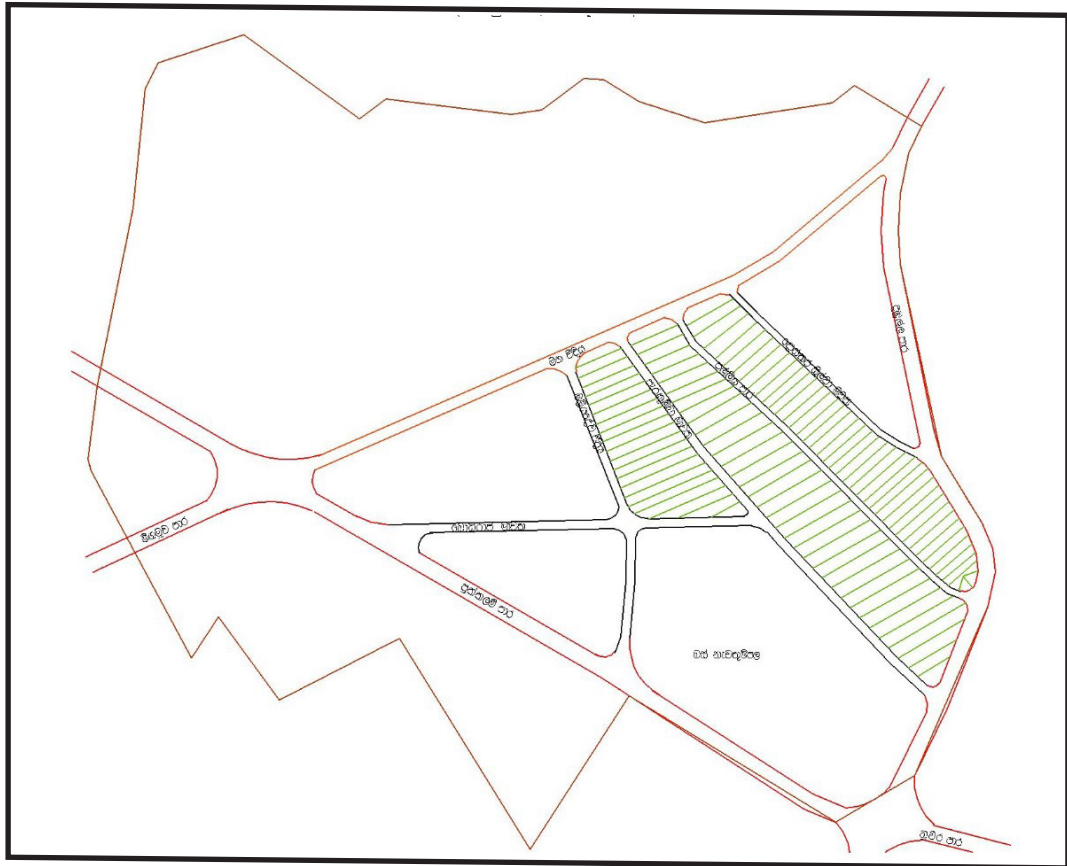
Figure No. 9.8. Strategy for development through a guide plan in cases where there is no open space behind the buildings



Source: Urban Development Authority North Western provincial Office, 2020

2. Through the figure 9.9 in sub zone 01 of the figure 9.7 the event that the front of a building extends from one lane to other lane the development work should be done in accordance with the specifications mentioned in 01 above.

Figure No. 9.9. The strategy of the allocated accessibility for frontage as well as rear space of the building



Source: Urban Development Authority North Western provincial Office, 2020

3.
 - i. For lands of more than 6 perches in this Special Commercial Zone, rear space size and side space size as specified under the general guidelines of this development plan should be allocated.
 - ii. In this region sub zone 2 of figure 9.7, the minimum back space of 7.5 feet will be considered in the proposed development activities in plots of less than 6 plots.
 - iii. Plans should include a court yard of 10' * 10' when the building depth is more than 66 feet in building development activities on plots of less than 06 perches in the Special Commercial Zone.

9.3. Signboard Guidelines for Special Commercial zone

Signboard guideline is mandatory for all the buildings within the Special Commercial Zone in this Kurunegala city development plan (2019 -2030).

9.3.1. Objectives of Sign Board Guidelines

- I. Signboards which are placed randomly creates the situation where people have difficulty in finding the information, they need due to the visual obstruction and they are rather reluctant to see the signboards.

- II. Therefore, guideline will help to provide the information effectively with the viewers. This will not only benefit the merchants but also for the improvement of the streetscape.
- III. Below are the three basic goals of the outdoor signboards within the central business district like Commercial Grid Zone.
 - A. To provide the pedestrians with the information of the shop at once.
 - B. To entertain the people's eyes.
 - C. To contribute to the good streetscape
- IV. Signboards are part of the streetscape which reflects the culture and tradition of Kandy and in order to create good streetscape, they should be subordinate to the buildings and their design need to have harmonious relationship with the buildings.
- V. A good streetscape encourages people to walk outside, which will eventually increase the sales of the stores along the streets. It can also attract the people from outside of the town as tourism asset.

9.3.2. Definition of Terms

- I. Self- advertising: Advertisement for his or her own business
- II. Generic sign board: sign board which is placed by the sponsor of the products the merchants carry
- III. Directory sign: sign system for the multiple tenants
- IV. Wall sign: signs which are directly attached to the wall
- V. Projecting sign: sign boards that are projecting from the façade
- VI. Window sign: sign which is mounted on backside of the show window
- VII. Awning sign: sign which is written on the awning

9.3.3 Sign board guideline

There are basically two different signboard guidelines per building type.

- 9.3.3.1. Sign Guidelines for small-scale buildings. This guideline applies to the types of the buildings which have smaller openings (usually below than 6 metre in width) on the street.

Wall sign	<ol style="list-style-type: none"> 1. One wall sign (primary sign) for each storefront or building façade is permitted. 2. The design of the primary sign shall respect overall design of the façade and streetscape. 3. The location of primary sign shall be cantered above the storefront and below the second-floor windows. Wall sign shall not cover the historic character (decorative features such as columns, pediment, balustrades, medallions) of the building.
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	<ol style="list-style-type: none"> 4. One wall sign shall not exceed five square metres. 5. The height of a wall sign shall not exceed one metre. 6. Total area of wall sign(s) per building shall not exceed 25% of the façade area. 7. No generic sign such as a product name is permitted. 8. When necessary, use exterior lighting fixtures for a wall sign. Individually mounted letters that contain lamp in each character is permitted.
Rooftop signs or signs on the higher floor	No rooftop sign or wall sign on the third or higher floor is permitted.
Projecting sign	<ol style="list-style-type: none"> 1. One projecting sign for one storefront business is permitted. 2. One projecting sign shall be no larger than 90 cm width, 60 cm height and 10 cm thickness. 3. The bottom of projecting signs shall be located at least 2.5 m above the sidewalk and rigidly supported. 4. Creative signs that shows high level of craftsmanship and symbolize the business are encouraged for this type.
Awning Sign	<ol style="list-style-type: none"> 1. One sign per one awning is permitted. 2. The Conditions for wall sign is applied.

Figure No. 9.10. Illustrative Guidelines for the Small Scale Buildings

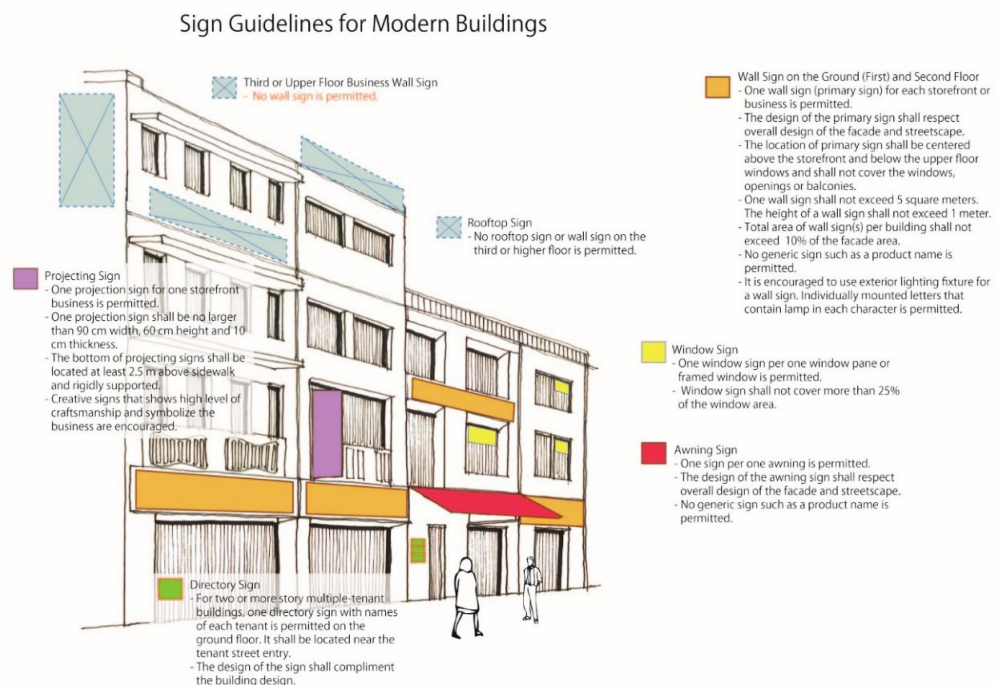


1. Sign board guidelines for large scale Buildings.

Wall Sign	<p>I. Wall Sign on the Ground (First) and Second Floor is permitted</p> <p>II. One wall sign (primary sign) for each storefront or business is permitted.</p> <p>III. The design of the primary sign shall respect overall design of the façade and streetscape.</p> <p>IV. The location of primary sign shall be centred above the storefront and below the upper floor windows and shall not cover the windows, openings or balconies.</p> <p>V. One wall sign shall not exceed five square metres. The height of a wall sign shall not exceed one metre.</p> <p>VI. Total area of wall sign(s) per building shall not exceed 10% of the façade area.</p> <p>VII. No generic sign such as a product name is permitted.</p> <p>VIII. It is encouraged to use an exterior lighting fixture for a wall sign. Individually mounted letters that contain a lamp in each character is permitted.</p>
Roof top Sign	No rooftop sign or wall sign on the third or higher floor is not permitted.

Projecting Sign	<p>I. One projection sign for one storefront business is permitted.</p> <p>II. One projection sign shall be no larger than 90 cm width, 60 cm height and 10 cm thickness.</p> <p>III. The bottom of projecting signs shall be located at least 2.5 m above the sidewalk and rigidly supported.</p> <p>IV. Creative signs that shows high level of craftsmanship and symbolize the business are encouraged.</p>
Window Sign	<p>One window signs per one window pane or framed window is permitted.</p> <p>Window sign shall not cover more than 25% of the window area.</p>
Awning Sign	<p>I. One sign per one awning is permitted.</p> <p>II. The design of the awning sign shall compliment overall design of the façade and streetscape.</p> <p>III. No generic sign such as a product name is permitted.</p>

Figure 9.11. Illustrative Guidelines for the large scale Building



9.3.4 Sign Text & Colours for Sign Boards

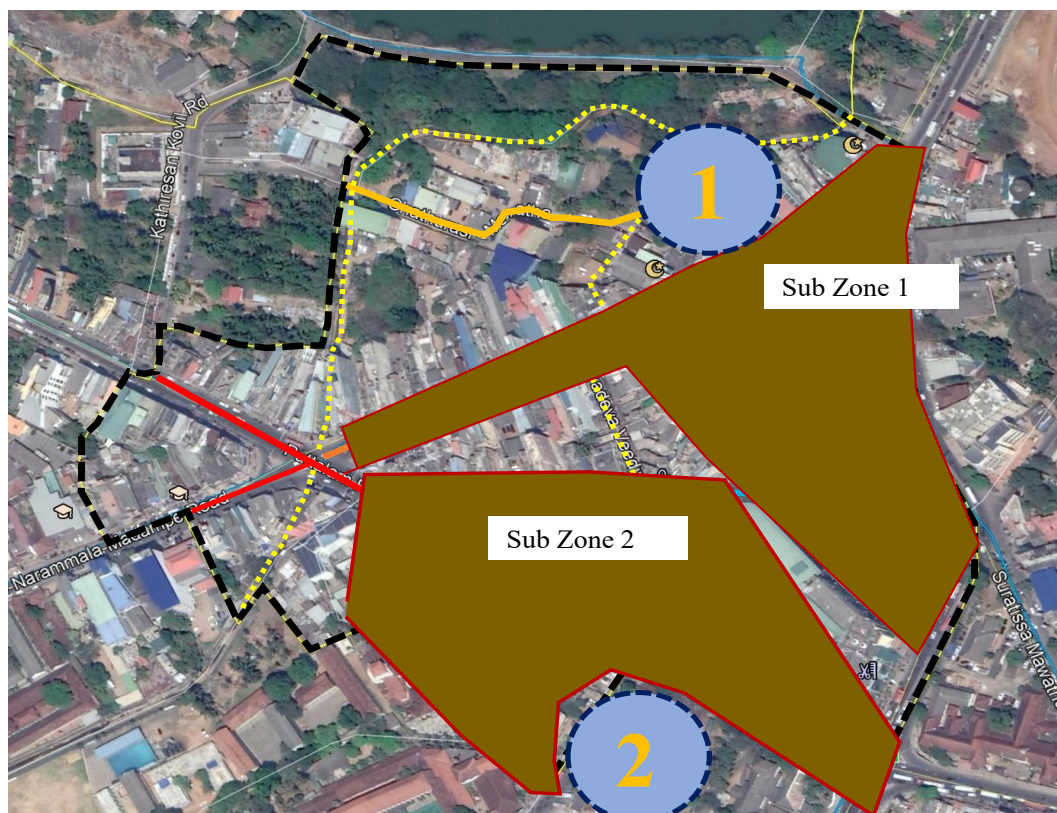
- I. Signage design should be creative; consider using images and graphics to promote business and the merchandise or service provided.
- II. Sign messages should be short with simple typography so that people can read easily.
- III. Minimized wording and the use of some symbols to achieve the clear message.
- IV. Sign colours should be simple (for instance, a range of three colours) and appropriate with the building colour scheme and the neighbouring buildings. Too many colours may not be visually attractive.
- V. Sign legibility is enhanced by contrast between letters and background and the amount of open space around the text.

9.4. Transport Management

The main objective of this transport management is to convert the Special Commercial Zone in to pedestrian friendly and to provide comfortable and effective service to the commuters. Following Strategies are proposed.

9.4.1. Discontinuation of improper parking within the roads of special commercial zone by providing proper parking areas.

Figure 9.12 Recommended places for Vehicle parking



Source: Urban Development Authority North Western provincial Office, 2020

- I. Development of the parking lot on Chaturashra Mawatha as a multi-storey car park
 - a. It is proposed to widen the access road to the parking lot to 30 feet.
- II. Development of a Multi-Storey Car Parking in the Proposed Mix Development Project on the 7-acres Government Institution Established Land at Mihindu Mawatha
- III. Accordingly, it is intended to reduce parking on both sides of the existing roads in these two sub zones and to divert to the two parking places identified in the two zones.

9.4.2. Classify the all roads in the Special Commercial Zone as vehicular lanes and pedestrian lanes in separately and to make the activities in the zone more efficient.

Figure 9.13 Classification of roads in Special Commercial zone



Source: Urban Development Authority North Western provincial Office, 2020



Roads that reserved for Pedestrians

Other Roads (Vehicles and Pedestrians)

Proposed Roundabout

Special Commercial Zone Roads are marked with pedestrian lanes as shown above, and other lanes are shown in blue on the map (a roundabout at Puttalam Junction is suggested). (Figure 9.13)

[illegible][illegible]

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Figure 9.16 Cross Section B – Perakumba Street

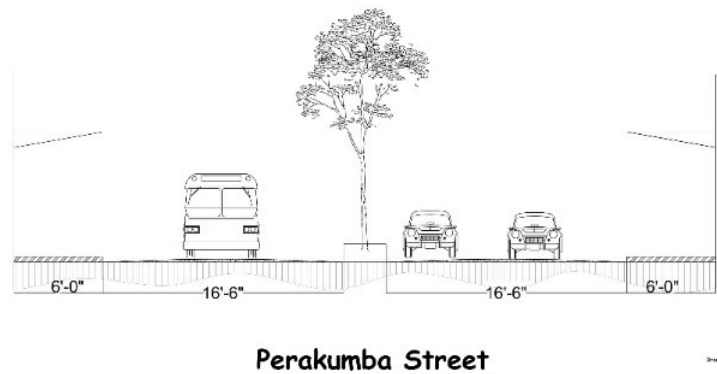


Figure 9.17 Cross Section C - Maliyadewa Street (Infront of the Bus stand)

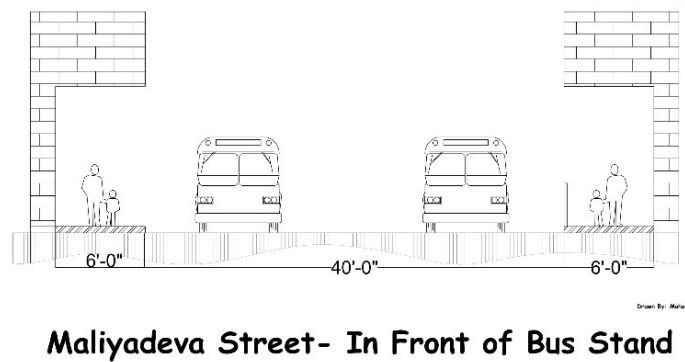


Figure 9.18 Cross Section D - Maliyadewa Street

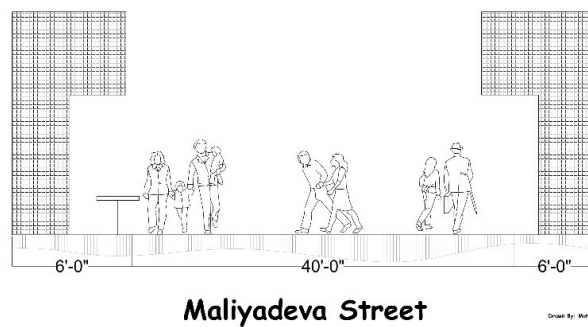
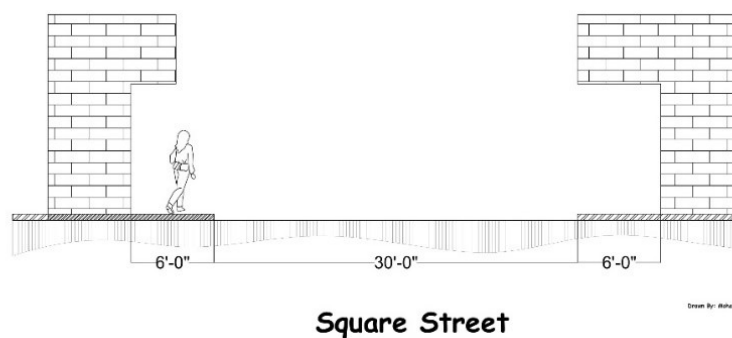


Figure 9.19 Cross Section E - Chathurashra Street



Source: Urban Development Authority North Western provincial Office, 2020

Figure 9.20 Cross Section F - Church road

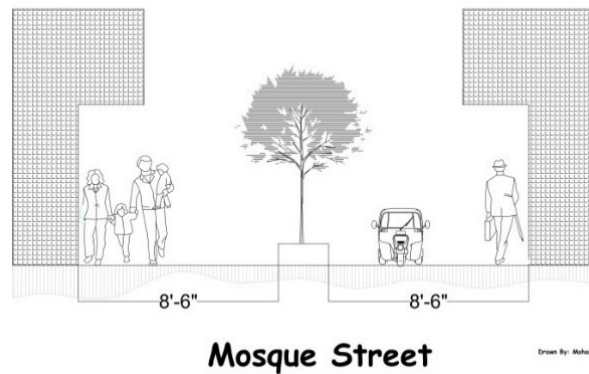
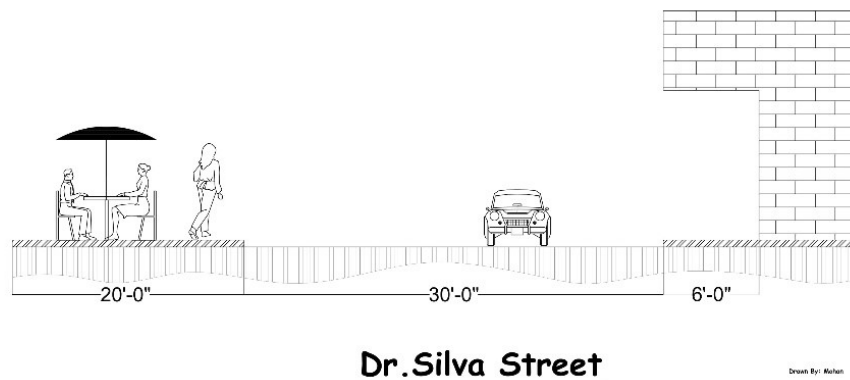


Figure 9.21 Cross Section G - Wan Ela Road



Figure 9.22 Cross Section H - Dr Silva Road



Source: Urban Development Authority North Western provincial Office, 2020

The Special Commercial Zone is the most popular area in the city, with a lot of activities. Therefore, air pollution is high and it is proposed to plant trees in such a way as not to obstruct the selected roads as mentioned above in order to create a conducive environment for the people in the area to do their work more easily and to provide guidance on how those roads should be developed.

9.5 General Terms of the Special Commercial Zone

1. Subdivision of lands in the Special Commercial Zone less than 06 perches is not permitted.
2. I. Consideration will be given for the development of existing plots of less than 06 perch with written permission without survey plan approval.

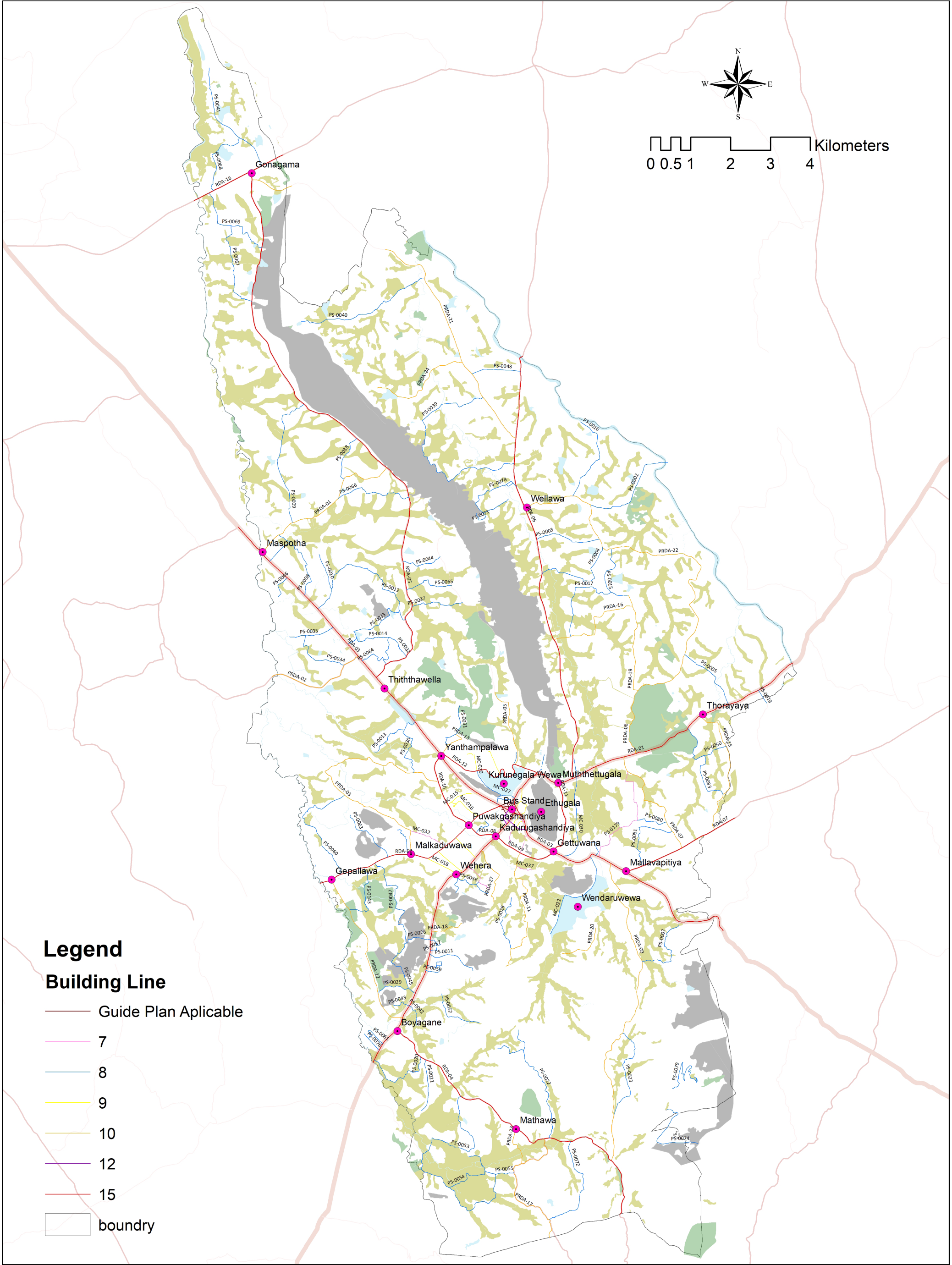
II. Building development activities up to a maximum of 4 floors (G + 3) will be considered in accordance with the Urban Development Authority Guidelines only for plots of land for which written permission is mentioned in 02. I above.
3. Basement of buildings constructed in this zone will not be permitted.
4. Wastewater from all development activities in this region; It should be connected to the Kurunegala Wastewater System operated by the National Water Supply and Drainage Board.
5. In cases where the parking facilities required for a development work cannot be provided within the premises, the service charges for the approval is accordance to the Schedule 2 of the Gazette Notification No. 2235/54 (2021-07- 08) relating to the payment of parking fees. It should be credited to the joint account of the Urban Development Authority under.

CHAPTER



Proposed Road Width and the Building Lines

Map No. 10.1 Proposed Building Line of the Roads



Chapter 10.0

Proposed Road Width and the Building Lines

Table 10.1 – Road List, the Proposed Road Width and Building Lines

No	RDA Road Number	Name of the Road	Proposed Road width	Proposed Building Line (From Center of Road)	Map Road Number
1	AA 006	Ambeypusa - Trincomalee	27	15	RDA - 01
2	B247	Negombo -Kurunegala	27	15	RDA - 02
3	AA010	Kandy - Puttalam	27	15	RDA - 03
4	B087	Dambokka- Katupitiya	27	15	RDA -04
5	B611	Thithhawella - Gonagama	27	15	RDA -05
6	B300	Muththettugala – Hiripitiya (Wellawa Road)	27	15	RDA -06
7	B264	Mallawapitiya - Kappitigala	27	15	RDA - 07
8	B082	Bauddhaloka Mawatha	27	15	RDA - 08
9	B082	U.B. Wanninyaka Mawatha	27	15	RDA - 09
10	B082	Outer Circulaer Road West – Wilgoda Road	27	15	RDA -10
11	B082	Gattuwana Road	27	15	RDA -11
12		North lake Road	27	15	RDA -12
13	B051	Main Street	-	-	RDA -13
14		Old Dambulla Road	27	15	RDA -14
15	B051	Surathissa Road	27	15	RDA -15
16	B478	Wariyapola – Ganewatta Road	27	15	RDA -16
17	-	Proposed oouter circuler road	27	15	-

No	Name of the Road	Proposed road width	Proposed Building Line - From road Center	Map Road Number
18	Maspota- Thisnamwewa	17	10	PRDA -01
19	Pellandeniya – Dikwehara	17	10	PRDA -02
20	Kawudawaththa via Malkaduwwa Alakoladeniya	17	10	PRDA -03
21	Rangama – Bamunapotha	17	10	PRDA -04
22	Wewa Rauma – Kuda Galgamuwa	17	10	PRDA -05
23	Badagamuwa – Wellawa	17	10	PRDA -06
24	Yaggapitiya Uyandana Alternative road	17	10	PRDA -07
25	Pilikada – Hadurukkanda	17	10	PRDA -08
26	Mallawapitiya - Katupitiya	17	10	PRDA -09
27	Boyagane – Matawa	17	10	PRDA -10
28	Henamulla- Thalkota	17	10	PRDA -11
29	Malpitiya – Piduruwella Hal Road	17	10	PRDA -12
30	Yanthampalawa – Wewa Gedra (Sundarapola Road)	17	10	PRDA -13
31	Thorayaya Kuda Kowana	17	10	PRDA -15
32	Maddegama- Mohottawa	17	10	PRDA -16
33	Kohilagedara – Kudumbuwa	17	10	PRDA -17
34	Waduragala – Wilbawa	17	10	PRDA - 18
35	Ranawana – Budanapitiya	17	10	PRDA -19
36	Diyabawa – Doratiyawa	17	10	PRDA -20
37	Rangama- Gonagama	17	10	PRDA -21
38	Badagamuwa – Wellawa	17	10	PRDA -22,6
39	Thalampitiya - Kohilegedara	17	10	PRDA -23
40	Porapola- Thalwita	17	10	PRDA -24
41	Wellawa to Deduru Oya	17	10	PRDA -25
42	Jayanthipura – Wilbawa Road from Teaching Hospital to Gettuwana Proposed Alternative Road.	17	10	PRDA -27

No	Name of the Road	Proposed Road width	Proposed Building line - From road Center	Map Road number
43	Perakumba Street	-	-	MC -001
44	Bodhiraja Mawatha	-	-	MC -002
45	Maliyadewa Street	-	-	MC -003
76	Dr Silva Road	-	-	MC -004
77	Muslim church Road	-	-	MC -005
78	St Anns Road	-	-	MC -006
46	Convent Road	21	12	MC -007
47	Rajapihilla Road	21	12	MC -008
48	Mihindu Mawatha	21	12	MC -009
49	Kachcheriya Road	15	9	MC -010
50	Baladaksha Mawata	15	9	MC - 011
51	Wathhimi Road	15	9	MC -012
52	Kumarathunga Mawatha	15	9	MC - 013
53	Pubudu Mawatha	15	9	MC - 014
54	Sumangala Mawatha	15	9	MC -015
55	Iluppugedra Road	15	9	MC -016
56	Nissanka Mawatha	15	9	MC-017
57	Malkaduwwa Circular Road	15	9	MC -018
58	H.P.T. Road	15	9	MC-019
59	Welangolla Road	15	9	MC-020
60	Rajapihilla Restautent Road	15	9	MC-021
61	Wennaru Wewa Road	13	8	MC -022
62	Jayapathirana Road	13	8	MC-023
63	Kataragama Devala Road	13	8	MC-024
64	Millenium City Road	13	8	MC-025
65	Wilthera Uyana	13	8	MC- 026
66	Lake side Road	13	8	MC- 027
67	Chathurashra Road	13	8	MC-028
68	Baladaksha Road	13	8	MC-029
69	Dhiwara Sanstha Road	13	8	MC-030
70	Kanda Udawatta Road	11	7	MC -031
71	Bandaranayaka Road	11	7	MC -032
72	Heraliyawala Road 3rd lane	11	7	MC -033
73	Udawalpola – sarwodaya Road	11	7	MC -034
74	Sumanadasa Mawatha – Hinugalla Road	11	7	MC-035
75	Amunawatta Road	11	7	MC-037,038
79	Galagawa Wela Road	11	7	MC -039
80	Samaja Shala Road	11	7	MC -040

No	Name of the Road	Proposed Road width	Proposed Building line (From road Center	Map Road number
82	Rikillagamuwa Road	13	8	PS -0002
83	Thuruliyagama – Hadirawala-na	13	8	PS -0003
84	Maha kandegama - Thuruliyagama	13	8	PS -0004
85	Thorayaya – Narampola	13	8	PS -0005
81	Manel Oluwa _ hewapola	13	8	PS -0007
86	Walagane – Maspotha	13	8	PS -0008
87	Wegolla - Maragama	13	8	PS -0009
88	Demalussa Road	13	8	PS -010
89	Regland Watta – Sinhapura	13	8	PS -011
90	Henyaya , Galkanda - Siyambalangamuwa	13	8	PS -012
91	Sub Road	13	8	PS -013
92	Upper Lake Road	13	8	PS -014
93	Sub Road	13	8	PS -0015
94	Thalatuwa – gepallawa	13	8	PS -0016
95	Sub Road	13	8	PS -0017
96	Migolla – Kiriwwula	13	8	PS -0019
97	Kadurukumbura – Maguru Oya	13	8	PS -0020
98	Dangaspitiya – Industrial Zone	13	8	PS -0021
99	Sub Road	13	8	PS-0022
100	Sub Road	13	8	PS -0023
101	Wehere Polmandala Road	13	8	PS -0024
102	Waduragala – Dharmapala Road	13	8	PS -0026
103	Waduragala – Weralugolla Cemetery Road	13	8	PS -0027
104	Thalkota – Wilbawa	13	8	PS -0028
105	Malpitiya Jayamawatha – Rathgalla Road	13	8	PS -0029
106	Sub Road	13	8	PS -0030
107	Sub Road	13	8	PS -0031
108	Sub Road	13	8	PS- 0032
109	Lake Road	13	8	PS -0033
110	Sub Road	13	8	PS -0034
111	Sub Road	13	8	PS -0035
112	Sarwodaya Road	13	8	PS -0036

113	Sub Road	13	8	PS -0037
114	Sub Road	13	8	PS -0038
115	Sub Road	13	8	PS -0039
116	Sub Road	13	8	PS -0040
117	Gonagama – Wilgama Dewa-tawa	13	8	PS -0041
118	Malpitiya – Madithiyawala	13	8	PS -0042
119	Malpitiya – Danawwa Asala Road	13	8	PS -0043
120	Paplewala- Mapegamuwa	13	8	PS -0044
121	Walakulpola Road	13	8	PS -0045
122	Maspotha – Walagane Green Village Road	13	8	PS -0046
123	National School Road	13	8	PS- 0077
124	Sub Road	13	8	PS -0047
125	Bamunawala - Mudunpitiya Rathgalla Road	13	8	PS -0143
126	Adaraniya Road	13	8	PS- 0048
127	Hijra Mawatha	13	8	PS- 0049
128	Sub Road	13	8	PS- 0050
129	Sub Road	13	8	PS-0051
130	Nailiya Gama meda road	13	8	PS -0052
131	Hulugama, Udupitiya, Mah-gama, Attanapitiya Road ,	13	8	PS-0053
130	Nailiya Gama meda road	13	8	PS -0052
131	Hulugama, Udupitiya, Mah-gama, Attanapitiya Road ,	13	8	PS-0053
132	Sub Road	13	8	PS- 0054
133	Sub Road	13	8	PS-0055
134	Sub Road	13	8	PS-0056
135	Elawaththa Dewana Road	13	8	PS -0057
136	Waduragala – Isuru Pedesa	13	8	PS - 0058
137	Waduragala – Near main Well road	13	8	PS -0059
138	Wewpitiya Road	13	8	PS -0060
139	Dambokka – Diddeniya Stage I	13	8	PS -0061
140	Perakum Mawatha	13	8	PS -0062
141	Sudarshana Mawatha	13	8	PS -0063
142	Samagi Mawatha	13	8	PS -0064
143	Sub Road	13	8	PS -0065
144	Sub Road	13	8	PS -0066

145	Galagedara Baddegama Maguru Oya Road	13	8	PS - 0067
146	Sub Road	13	8	PS -0068
147	Pimburuwallegama – Helawa Road	13	8	PS -0069
148	Diwulgahapitiya Road	13	8	PS -0070
149	Ginikarawa – Temple Road	13	8	PS -0071
150	Sub Road	13	8	PS -0072
151	Halampitiya – Hospital Road	13	8	PS -0073
152	Shanthi Viharaya Road	13	8	PS -0640
153	Morahenna road	13	8	PS -0074
154	Sub Road	13	8	PS -0075
155	Dambokka – Diddeniya Stage II	13	8	PS -0076
156	Elwatta Stage I	13	8	PS -0077
157	Ginikarawa Road	13	8	PS -0078
158	Maha Kowana Road	13	8	PS -0083
159	Jaya Mawatha	13	8	PS -0079
160	Sub Road	13	8	PS -0080
161	Sub Road	13	8	PS -0081
163	Sinha Mawatha	13	8	PS -0082
164	Wigodawatta Road _ proposed	11	7	PS -0001
165	Alakoladeniya Road (To Kandy and Dambulla Road	11	7	PS -0179
165	Alakoladeniya Road (To Kandy and Dambulla Road	11	7	PS -0179

Source: Urban Development Authority North Western provincial Office, 2020

Note

1. 6m Building line and 9m proposed road width should be applicable for all other common roads.
2. The minimum width of an access road for one or more plots of buildings intended for non-residential use shall be 9.0 m. Even so,
3. Proposed road width for a development site or plot of land adjacent to a road less than 9.0 m wide (if the existing and physical width of the road is at least 6.0 m), Permission for non-residential activities specified in the relevant zone of this development plan will be considered in cases where the proposed use is not large scale industrial and warehousing, subject to transfer of the land covered by the proposed road width to the relevant authority

PART

3



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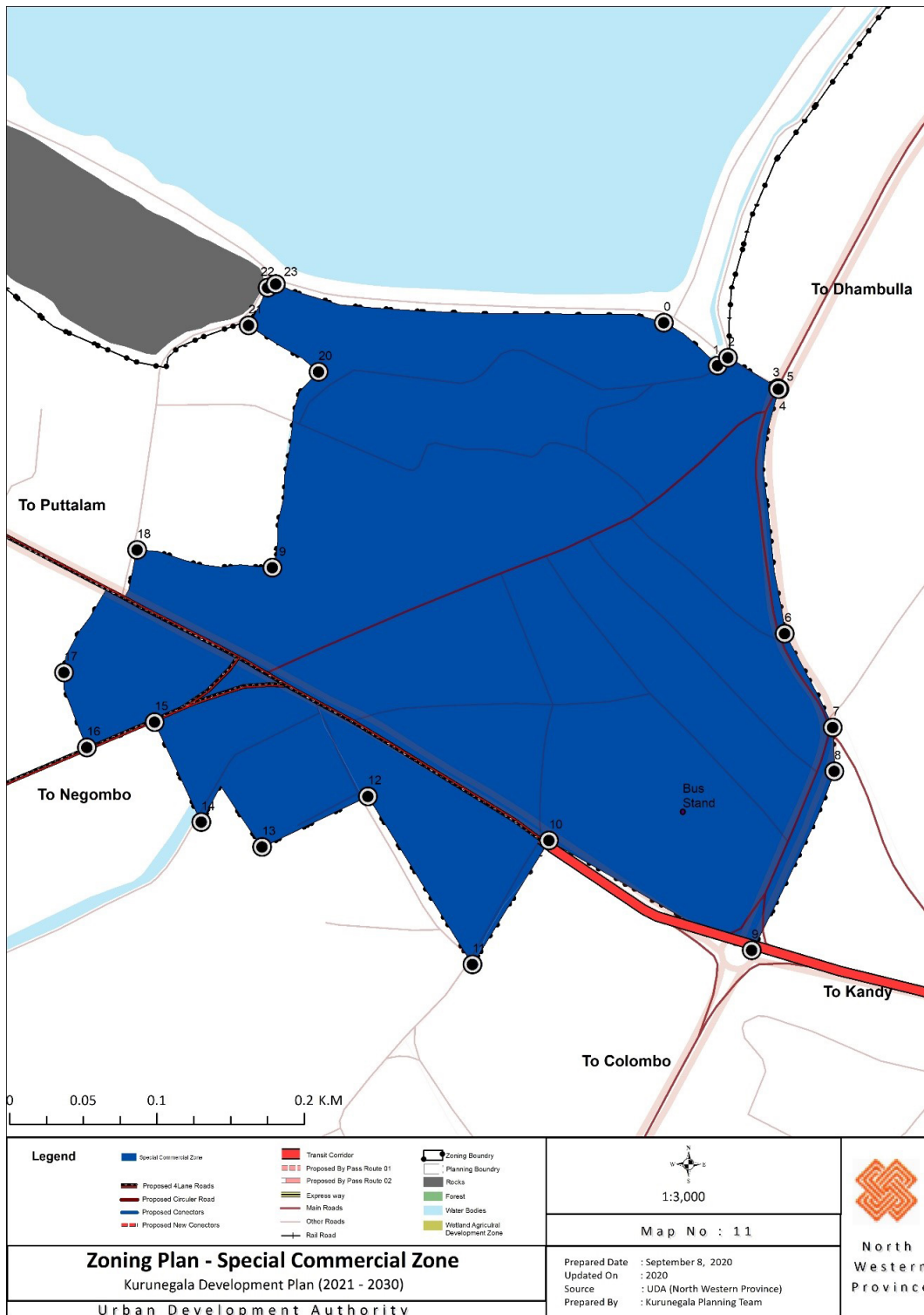
Note: These coordinates were not made using Global Positioning System (GPS) and were marked on Google Earth-2020 satellite imagery with zoning (Kandawala Sri Lanka Grid projection) and coordinates (WGS 1984 projection) via ARC GIS software

Zonning Cordinates

Cordinates	X Cordinates	Y Cordinates
0	80.3645	7.49091
1	80.3648	7.49065
2	80.3649	7.4907
3	80.3652	7.49051
4	80.3652	7.49051
5	80.3652	7.49051
6	80.3652	7.48901
7	80.3655	7.48843
8	80.3655	7.48816
9	80.365	7.48707
10	80.3638	7.48774
11	80.3633	7.48698
12	80.3626	7.48801
13	80.362	7.4877
14	80.3616	7.48785
15	80.3613	7.48846
16	80.3609	7.4883
17	80.3608	7.48876
18	80.3612	7.48952
19	80.362	7.48941
20	80.3623	7.49061
21	80.3619	7.4909
22	80.362	7.49113
23	80.3621	7.49115

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Special Commercial Zone



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 6 Zonning Bounadries and Map of the Lake Tourism and Exclusive Residential Zone

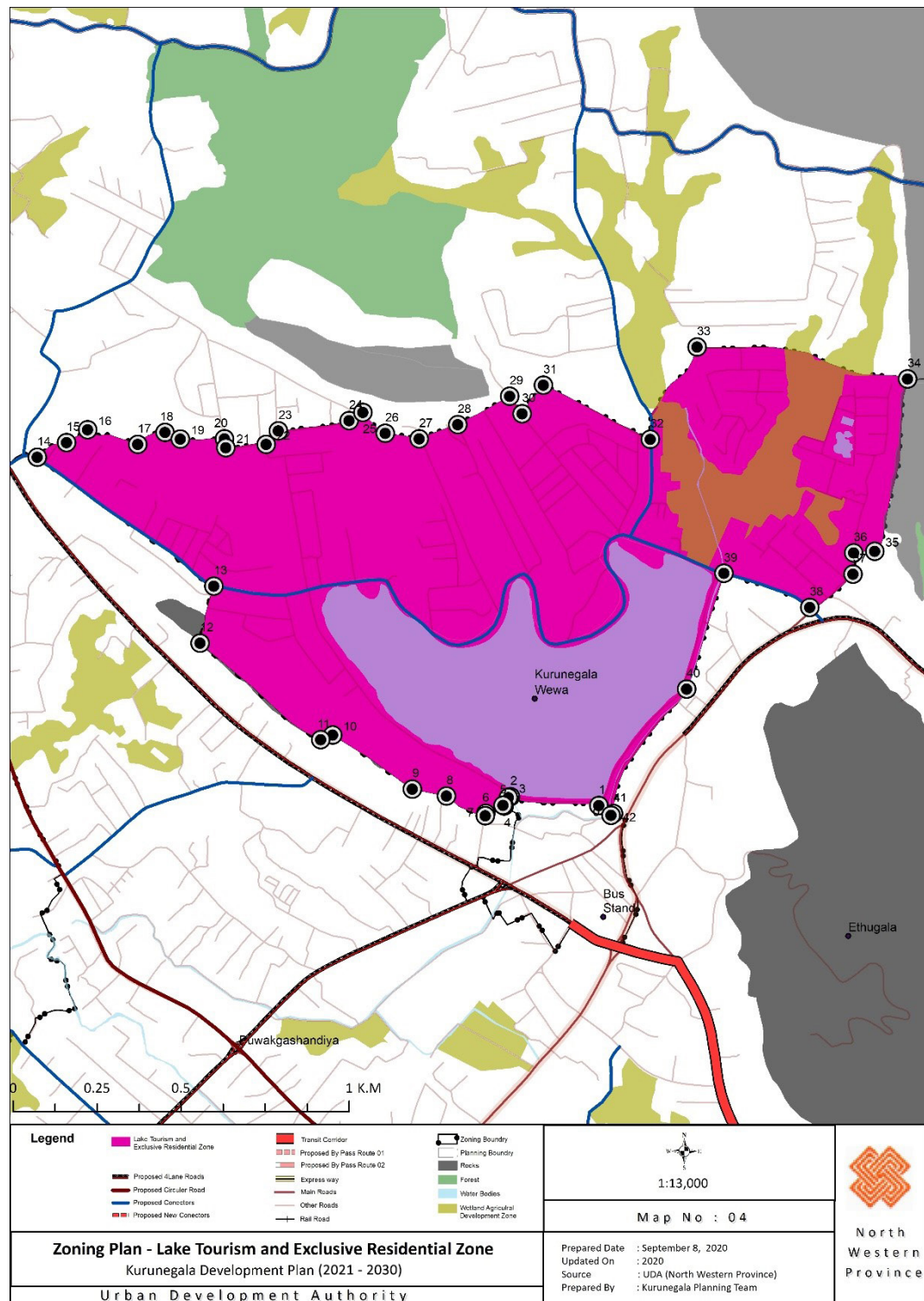
Zonning Cordinates

Cordinates	X Cordinates	Y Cordinates
1	80.3648	7.49065
2	80.3645	7.49091
3	80.3621	7.49115
4	80.362	7.49113
5	80.3619	7.4909
6	80.3619	7.49091
7	80.3614	7.4907
8	80.3614	7.49063
9	80.3603	7.49116
10	80.3594	7.49135
11	80.3573	7.4928
12	80.3569	7.49267
13	80.3537	7.49527
14	80.3541	7.4968
15	80.3493	7.50027
16	80.3501	7.50066
17	80.3507	7.50101
18	80.352	7.50061
19	80.3527	7.50094
20	80.3532	7.50076
21	80.3543	7.50076
22	80.3544	7.50053
23	80.3555	7.50062
24	80.3558	7.50098
25	80.3577	7.50126
26	80.3581	7.50148
27	80.3587	7.50092
28	80.3596	7.50077
29	80.3606	7.50115
30	80.362	7.50192
31	80.3624	7.50145
32	80.363	7.50222
33	80.3658	7.50076
34	80.3671	7.50325
35	80.3728	7.50239

36	80.3719	7.49775
37	80.3713	7.49771
38	80.3713	7.49714
39	80.3701	7.49625
40	80.3678	7.49716
41	80.3668	7.49404
42	80.3649	7.4907

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Lake Tourism and Exclusive Residential Zone



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 7 – Zonning Boundaries and map of the Health and Medicare Zone

Zonning Cordinates

Cordinates	X Cordinates	Y Cordinates
0	80.3609	7.48178
1	80.3634	7.47983
2	80.3631	7.47928
3	80.3638	7.47887
4	80.3639	7.47827
5	80.3627	7.47711
6	80.3604	7.47544
7	80.3591	7.47502
8	80.3584	7.47448
9	80.3582	7.47425
10	80.3579	7.47317
11	80.3578	7.47311
12	80.3575	7.47325
13	80.3574	7.47363
14	80.3572	7.4736
15	80.357	7.4734
16	80.3563	7.47353
17	80.3555	7.47342
18	80.3552	7.47395
19	80.3553	7.47432
20	80.3547	7.47485
21	80.3552	7.47561
22	80.3545	7.47622
23	80.3549	7.47686
24	80.3556	7.47697
25	80.356	7.47721
26	80.3541	7.47909
27	80.3547	7.47998
28	80.3546	7.48117
29	80.355	7.48189
30	80.3561	7.48197
31	80.3575	7.48154
32	80.3576	7.48205
33	80.3597	7.48218

Source: Urban Development Authority North Western provincial Office, 2020

Annexure 8 – Zonning Bounadries and map of the Special Developmen Zone

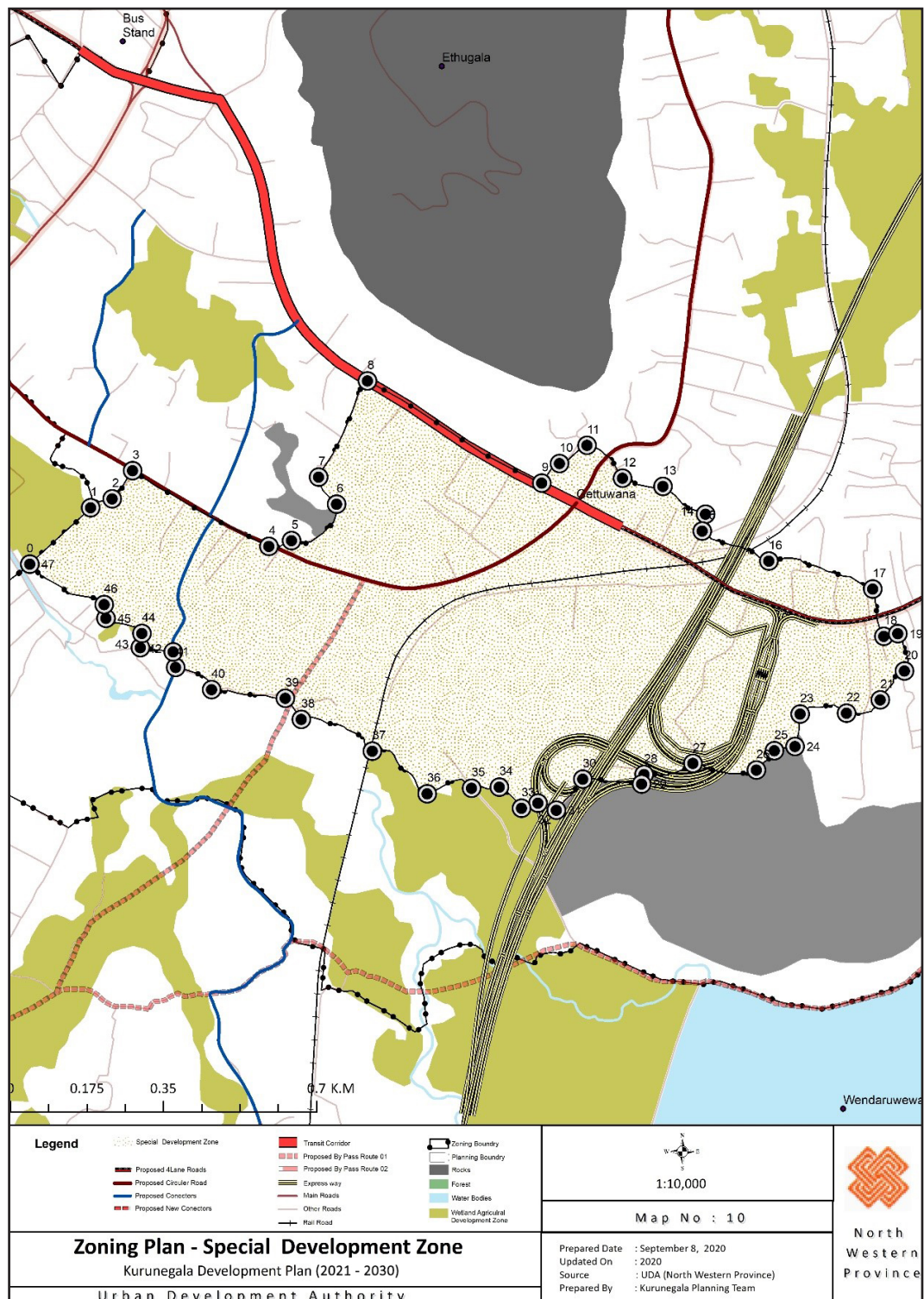
Zonning Cordinates

Cordinates	X Cordinates	Y Cordinates
0	80.3627	7.47711
1	80.3639	7.47827
2	80.3644	7.47846
3	80.3648	7.47904
4	80.3676	7.47748
5	80.3681	7.47759
6	80.369	7.47835
7	80.3686	7.47891
8	80.3697	7.4809
9	80.3733	7.47879
10	80.3736	7.4792
11	80.3742	7.47957
12	80.3749	7.47889
13	80.3758	7.47872
14	80.3767	7.47815
15	80.3766	7.4778
16	80.378	7.47718
17	80.3801	7.4766
18	80.3804	7.47563
19	80.3806	7.47568
20	80.3808	7.47491
21	80.3803	7.47432
22	80.3796	7.47404
23	80.3786	7.47402
24	80.3785	7.47335
25	80.3781	7.47326
26	80.3777	7.47286
27	80.3764	7.473
28	80.3754	7.47277
29	80.3753	7.47258
30	80.3741	7.47267
31	80.3736	7.47203
32	80.3732	7.47218
33	80.3728	7.47207
34	80.3724	7.47251

35	80.3718	7.47249
36	80.3709	7.47237
37	80.3698	7.47325
38	80.3683	7.4739
39	80.368	7.47434
40	80.3664	7.47451
41	80.3657	7.47497
42	80.3656	7.47529
43	80.3649	7.47538
44	80.365	7.47567
45	80.3642	7.47599
46	80.3642	7.47627
47	80.3627	7.47711

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Special Development Zone



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 09

Zonning Bounadries and map of the Mixed Development Zone

Zonning Cordinates

Cordinates	X Cordinates	Y Cordinates
0	80.3792	7.50249
1	80.3798	7.49465
2	80.3837	7.49297
3	80.3826	7.49049
4	80.385	7.48861
5	80.3869	7.48676
6	80.3891	7.48681
7	80.3891	7.48542
8	80.3888	7.48465
9	80.389	7.48388
10	80.3896	7.48372
11	80.3895	7.48268
12	80.39	7.48154
13	80.3911	7.48149
14	80.3933	7.4804
15	80.393	7.47902
16	80.3939	7.47863
17	80.3935	7.47782
18	80.3938	7.47719
19	80.394	7.47605
20	80.3946	7.47603
21	80.3947	7.47523
22	80.3957	7.4743
23	80.3959	7.47379
24	80.3951	7.47347
25	80.395	7.47343
26	80.3942	7.4726
27	80.3941	7.47244
28	80.3926	7.47201
29	80.3915	7.47206
30	80.3893	7.47247
31	80.389	7.47196
32	80.3886	7.47205
33	80.3881	7.47105

34	80.3877	7.47144
35	80.3864	7.4713
36	80.3859	7.47251
37	80.3838	7.47325
38	80.3837	7.47219
39	80.3827	7.4702
40	80.3809	7.46846
41	80.3791	7.46792
42	80.377	7.4685
43	80.3766	7.46843
44	80.3745	7.4691
45	80.3741	7.46928
46	80.3736	7.46906
47	80.3731	7.46884
48	80.3726	7.46902
49	80.3721	7.46895
50	80.3708	7.46873
51	80.3709	7.46761
52	80.3706	7.46744
53	80.3694	7.46829
54	80.3687	7.4683
55	80.3688	7.46915
56	80.3682	7.46929
57	80.368	7.46981
58	80.367	7.47089
59	80.3671	7.47186
60	80.366	7.4722
61	80.3654	7.47222
62	80.3652	7.47244
63	80.3639	7.47222
64	80.364	7.472
65	80.3641	7.47188
66	80.3635	7.47166
67	80.3616	7.47267
68	80.3618	7.47306
69	80.3613	7.47338
70	80.3612	7.47328
71	80.3602	7.47342
72	80.359	7.47292
73	80.3587	7.47293

74	80.3579	7.47317
75	80.3582	7.47425
76	80.3584	7.47448
77	80.3591	7.47502
78	80.3627	7.47711
79	80.3642	7.47627
80	80.3642	7.47599
81	80.365	7.47567
82	80.3649	7.47538
83	80.3656	7.47529
84	80.3657	7.47497
85	80.3664	7.47451
86	80.368	7.47434
87	80.3683	7.4739
88	80.3698	7.47325
89	80.3709	7.47237
90	80.3718	7.47249
91	80.3724	7.47251
92	80.3728	7.47207
93	80.3732	7.47218
94	80.3736	7.47203
95	80.3741	7.47267
96	80.3753	7.47258
97	80.3754	7.47277
98	80.3764	7.473
99	80.3777	7.47286
100	80.3781	7.47326
101	80.3785	7.47335
102	80.3786	7.47402
103	80.3796	7.47404
104	80.3803	7.47432
105	80.3808	7.47491
106	80.3806	7.47568
107	80.3804	7.47563
108	80.3801	7.4766
109	80.378	7.47718
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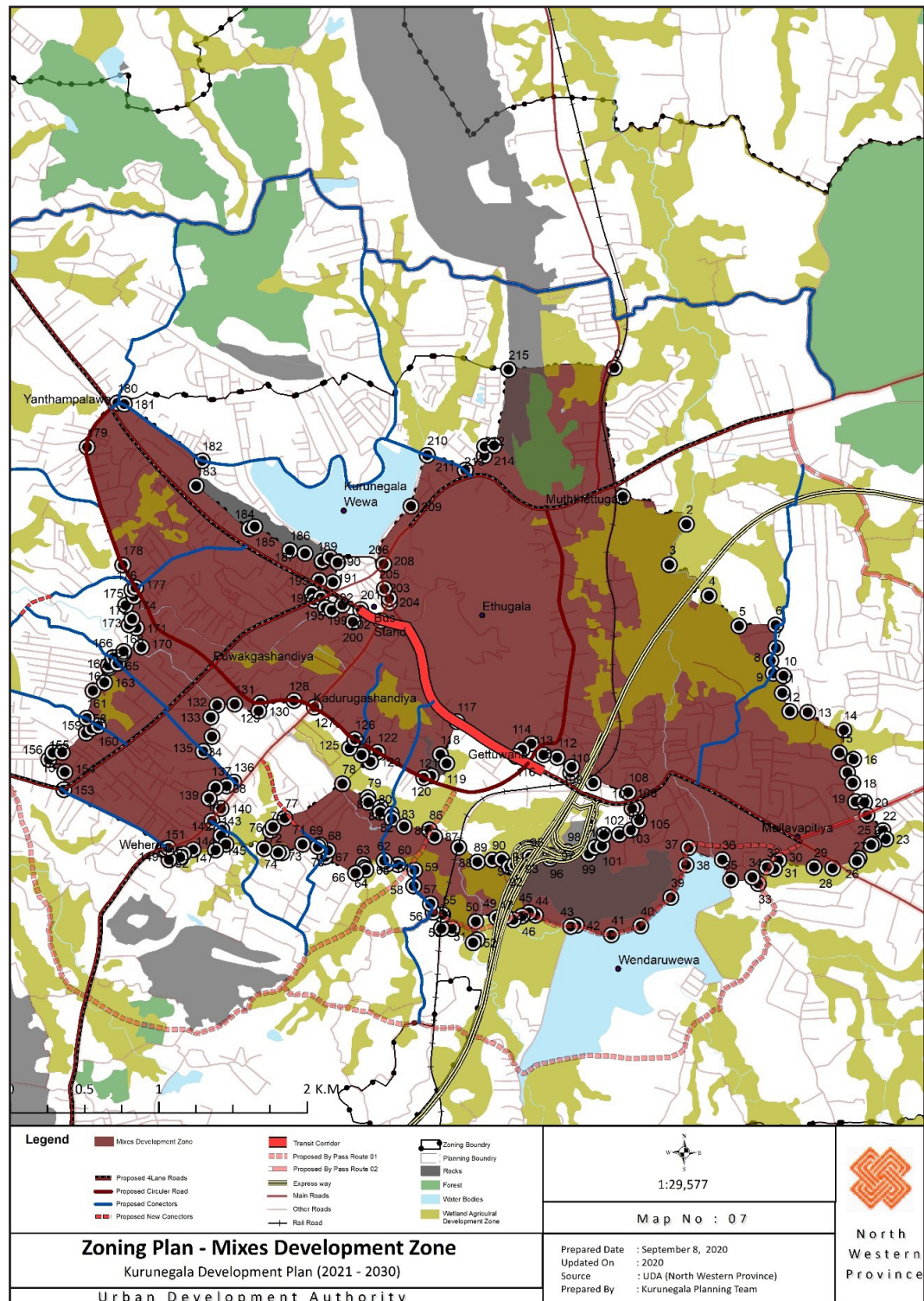
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119	80.369	7.47835
120	80.3681	7.47759
121	80.3676	7.47748
122	80.3648	7.47904
123	80.3644	7.47846
124	80.3638	7.47887
125	80.3631	7.47928
126	80.3634	7.47983
127	80.3609	7.48178
128	80.3597	7.48218
129	80.3576	7.48205
130	80.3575	7.48154
131	80.3561	7.48197
132	80.355	7.48189
133	80.3546	7.48117
134	80.3547	7.47998
135	80.3541	7.47909
136	80.356	7.47721
137	80.3556	7.47697
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139	80.3545	7.47622
140	80.3552	7.47561
141	80.3547	7.47485
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143	80.3552	7.47395
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145	80.3549	7.47307
146	80.3535	7.47309
147	80.3529	7.47283
148	80.3527	7.47264
149	80.3521	7.47247
150	80.3517	7.4731
151	80.3518	7.47313
152	80.352	7.4732
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154	80.3457	7.47781
155	80.3447	7.47857
156	80.345	7.47899
157	80.3455	7.479
158	80.347	7.48019
159	80.3473	7.48047
160	80.3477	7.48063
161	80.347	7.4811
162	80.3474	7.48277
163	80.3481	7.48328
164	80.3484	7.48417
165	80.3483	7.48431
166	80.3486	7.4848
167	80.3489	7.48445
168	80.3493	7.48504
169	80.3493	7.48517
170	80.3504	7.48544
171	80.3501	7.4866
172	80.3496	7.48679
173	80.3498	7.48716
174	80.3494	7.48799
175	80.3499	7.48852
176	80.3498	7.48892
177	80.35	7.48906
178	80.3492	7.49044
179	80.347	7.49763
180	80.3489	7.50033
181	80.3493	7.50027
182	80.3541	7.4968
183	80.3537	7.49527
184	80.3569	7.49267
185	80.3573	7.4928
186	80.3594	7.49135
187	80.3603	7.49116
188	80.3614	7.49063
189	80.3614	7.4907
190	80.3619	7.49091
191	80.3623	7.49061
192	80.362	7.48941
193	80.3612	7.48952

194	80.3608	7.48876
195	80.3609	7.4883
196	80.3613	7.48846
197	80.3616	7.48785
198	80.362	7.4877
199	80.3626	7.48801
200	80.3633	7.48698
201	80.3638	7.48774
202	80.365	7.48707
203	80.3655	7.48816
204	80.3655	7.48843
205	80.3652	7.48901
206	80.3652	7.49051
207	80.3652	7.49051
208	80.3652	7.49051
209	80.3668	7.49404
210	80.3678	7.49716
211	80.3701	7.49625
212	80.3713	7.49714
213	80.3713	7.49771
214	80.3719	7.49775
215	80.3728	7.50239

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Mix Development Zone



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 10 : Zonning Boundaries and map of the Mixed Development Zone 2

Mixed Development Zone 02

Cordinates	X Cordinates	Y Cordinates
0	80.3378	7.52641
1	80.3387	7.52551
2	80.3389	7.52433
3	80.3402	7.523
4	80.3402	7.52224
5	80.3413	7.52102
6	80.3428	7.51982
7	80.3442	7.52017
8	80.3495	7.52049
9	80.3495	7.51843
10	80.3527	7.51838
11	80.3544	7.51939
12	80.3545	7.52045
13	80.3537	7.52101
14	80.3536	7.52209
15	80.3644	7.53028
16	80.3664	7.52347
17	80.3704	7.51657
18	80.3791	7.51881
19	80.3794	7.51842
20	80.3792	7.51813
21	80.3792	7.51713
22	80.3796	7.51687
23	80.3802	7.51735
24	80.3803	7.51734
25	80.3808	7.51697
26	80.381	7.51721
27	80.3815	7.51709
28	80.3821	7.51786
29	80.3836	7.51741
30	80.3865	7.51791
31	80.3875	7.51556
32	80.3923	7.51313
33	80.3937	7.51554

34	80.3963	7.51614
35	80.3993	7.51605
36	80.4004	7.51409
37	80.4012	7.51251
38	80.4031	7.512
39	80.4041	7.51166
40	80.4044	7.51243
41	80.4029	7.50922
42	80.4067	7.50373
43	80.4085	7.50423
44	80.4125	7.50333
45	80.4128	7.50294
46	80.4136	7.49539
47	80.4132	7.49183
48	80.4126	7.49055
49	80.4126	7.48934
50	80.4115	7.4871
51	80.4118	7.48679
52	80.4118	7.4867
53	80.4118	7.48636
54	80.4118	7.48599
55	80.412	7.48552
56	80.4124	7.48497
57	80.4125	7.48467
58	80.4126	7.48471
59	80.4127	7.48463
60	80.4107	7.4835
61	80.4107	7.48345
62	80.4079	7.48201
63	80.408	7.4819
64	80.408	7.48165
65	80.4075	7.48116
66	80.4071	7.4809
67	80.4071	7.48033
68	80.4077	7.47973
69	80.4077	7.47797
70	80.4074	7.47811
71	80.407	7.47815
72	80.4065	7.4775
73	80.4061	7.47716

74	80.406	7.47623
75	80.4063	7.4759
76	80.4056	7.47509
77	80.4057	7.47462
78	80.4064	7.47402
79	80.407	7.47314
80	80.407	7.47205
81	80.4075	7.47218
82	80.4083	7.47112
83	80.4086	7.47117
84	80.4096	7.47005
85	80.4096	7.46793
86	80.4086	7.46785
87	80.4087	7.46731
88	80.4079	7.467
89	80.4066	7.46635
90	80.4054	7.46596
91	80.4038	7.46534
92	80.4028	7.4656
93	80.402	7.46549
94	80.4018	7.46525
95	80.4023	7.46503
96	80.4022	7.46478
97	80.4027	7.46451
98	80.4035	7.46467
99	80.4045	7.46497
100	80.4057	7.46456
101	80.4069	7.46472
102	80.4078	7.46466
103	80.4086	7.46458
104	80.4092	7.46395
105	80.4089	7.46342
106	80.4092	7.46307
107	80.4088	7.46277
108	80.4097	7.4631
109	80.4104	7.46367
110	80.4104	7.46367
111	80.4104	7.46294
112	80.4099	7.46162
113	80.4091	7.46063

114	80.4074	7.4601
115	80.4066	7.46054
116	80.4052	7.46075
117	80.404	7.46076
118	80.4031	7.46091
119	80.4023	7.46134
120	80.4013	7.46097
121	80.4002	7.46035
122	80.3997	7.45969
123	80.3998	7.45906
124	80.3995	7.45901
125	80.3991	7.45746
126	80.3992	7.45707
127	80.3985	7.45709
128	80.3983	7.45682
129	80.3978	7.45694
130	80.3977	7.45672
131	80.3972	7.4567
132	80.3971	7.45681
133	80.3965	7.45634
134	80.3947	7.45652
135	80.393	7.4565
136	80.3928	7.4564
137	80.3928	7.45646
138	80.3916	7.45649
139	80.3908	7.4562
140	80.3903	7.45595
141	80.3894	7.45623
142	80.388	7.45647
143	80.3863	7.45575
144	80.3857	7.45553
145	80.3844	7.45606
146	80.3818	7.45616
147	80.3796	7.45613
148	80.3774	7.45519
149	80.3758	7.45509
150	80.3756	7.45437
151	80.3751	7.45458
152	80.3748	7.4543
153	80.3741	7.45445

154	80.3737	7.45467
155	80.3732	7.45443
156	80.3724	7.45447
157	80.3722	7.4538
158	80.3716	7.45305
159	80.3709	7.45269
160	80.3711	7.45227
161	80.371	7.45168
162	80.3698	7.45126
163	80.3655	7.4504
164	80.3636	7.44995
165	80.3623	7.44984
166	80.3616	7.44935
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168	80.3609	7.44768
169	80.3603	7.446
170	80.3603	7.445
171	80.3598	7.44381
172	80.3601	7.4431
173	80.3597	7.4427
174	80.3584	7.44321
175	80.3569	7.44364
176	80.3562	7.44258
177	80.3552	7.44234
178	80.3544	7.44311
179	80.3527	7.44408
180	80.3513	7.44365
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183	80.3495	7.44262
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185	80.3498	7.4413
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187	80.3479	7.44097
188	80.3481	7.44029
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190	80.349	7.43743
191	80.349	7.43664
192	80.3484	7.43612
193	80.3481	7.43503

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198	80.3448	7.43215
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201	80.3438	7.43133
202	80.3436	7.43123
203	80.3433	7.43151
204	80.3431	7.43177
205	80.3428	7.43145
206	80.3424	7.43138
207	80.3423	7.43118
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210	80.3408	7.43111
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219	80.3371	7.42838
220	80.3362	7.42774
221	80.3355	7.42739
222	80.3352	7.42741
223	80.3348	7.42784
224	80.3345	7.42813
225	80.3343	7.42895
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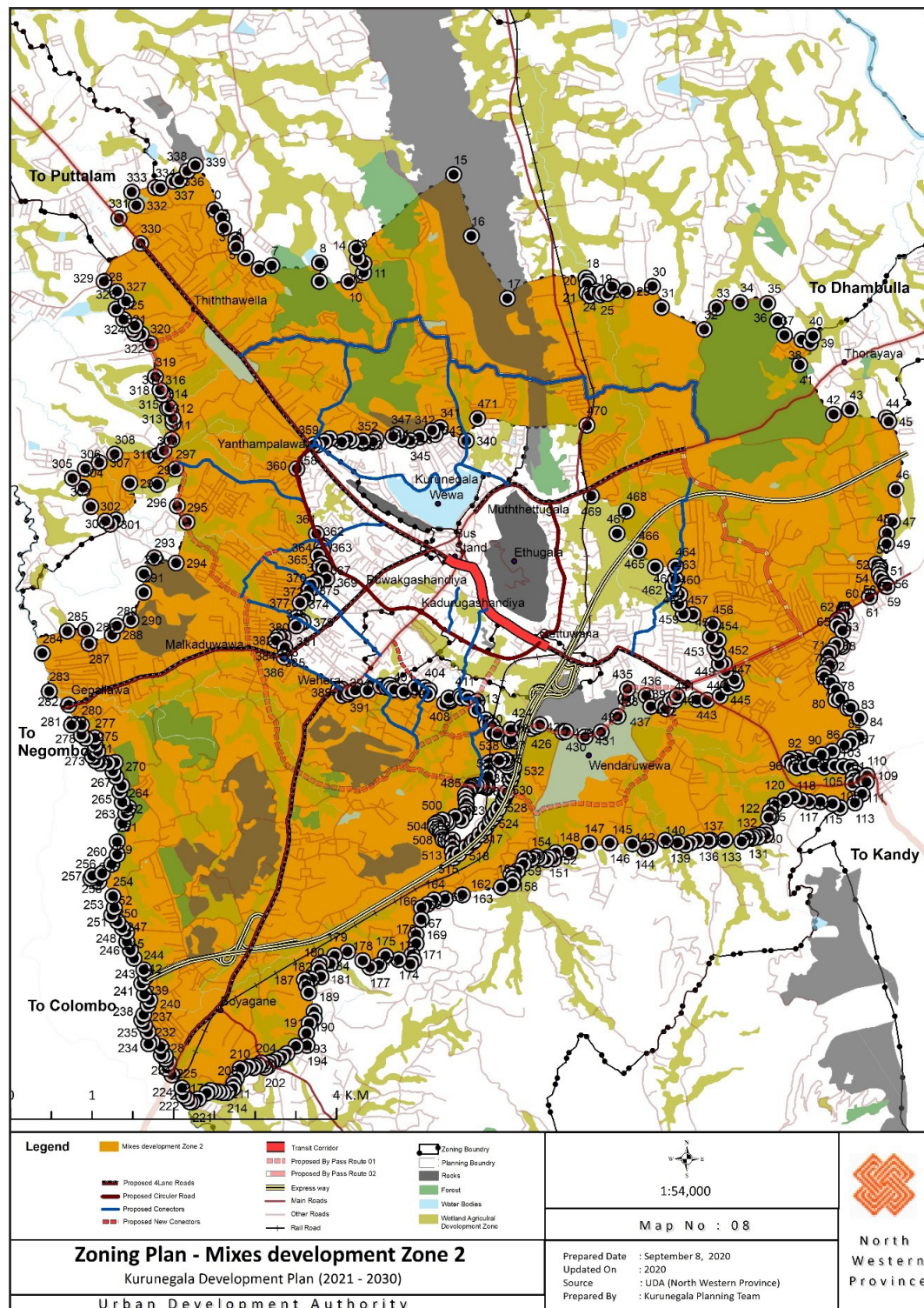
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454	80.3939	7.47863
455	80.393	7.47902
456	80.3933	7.4804
457	80.3911	7.48149
458	80.39	7.48154
459	80.3895	7.48268
460	80.3896	7.48372
461	80.389	7.48388
462	80.3888	7.48465
463	80.3891	7.48542
464	80.3891	7.48681
465	80.3869	7.48676
466	80.385	7.48861
467	80.3826	7.49049
468	80.3837	7.49297
469	80.3798	7.49465
470	80.3792	7.50249
471	80.3671	7.50325
472	80.3695	7.46532
473	80.3694	7.46513

474	80.369	7.4651
475	80.3687	7.46512
476	80.3685	7.46506
477	80.3684	7.46428
478	80.3683	7.46354
479	80.3682	7.46253
480	80.3682	7.46236
481	80.368	7.46237
482	80.3676	7.46247
483	80.3673	7.46254
484	80.367	7.46252
485	80.3665	7.46243
486	80.3664	7.46225
487	80.3663	7.46204
488	80.3662	7.46191
489	80.3659	7.46161
490	80.3658	7.46148
491	80.3658	7.461
492	80.3659	7.46058
493	80.3659	7.45994
494	80.3658	7.4597
495	80.3658	7.45929
496	80.3653	7.45869
497	80.3647	7.45905
498	80.3638	7.45839
499	80.3636	7.45858
500	80.3632	7.45872
501	80.3626	7.45844
502	80.3624	7.45823
503	80.3625	7.45796
504	80.3627	7.45768
505	80.363	7.4575
506	80.3631	7.45719
507	80.3632	7.45679
508	80.3633	7.45652
509	80.3636	7.45644
510	80.3639	7.4564
511	80.3643	7.4565
512	80.3643	7.45584
513	80.3643	7.45521

514	80.3644	7.45449
515	80.365	7.45498
516	80.3659	7.45572
517	80.3665	7.45623
518	80.3668	7.45642
519	80.3674	7.45708
520	80.368	7.45785
521	80.3686	7.45858
522	80.3688	7.45891
523	80.3691	7.45941
524	80.3695	7.46001
525	80.37	7.46095
526	80.3702	7.46136
527	80.3703	7.46161
528	80.3704	7.46177
529	80.3708	7.46311
530	80.371	7.46373
531	80.3711	7.46436
532	80.3711	7.46457
533	80.3708	7.46454
534	80.3704	7.46463
535	80.3704	7.46503
536	80.3704	7.46526
537	80.3702	7.46538
538	80.3695	7.46532

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Mixed Development Zone 02



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 11 : Zonning Boundaries and map of the Mixed Development Hinterland Zone

Zonning Coordinates

Cordinates	X Cordinates	Y Cordinates
0	80.3228	7.52547
1	80.3186	7.52614
2	80.3185	7.52741
3	80.3163	7.52727
4	80.3137	7.53214
5	80.3121	7.53448
6	80.3102	7.53463
7	80.3102	7.53464
8	80.3091	7.53726
9	80.3069	7.53856
10	80.3067	7.53981
11	80.3063	7.54065
12	80.3073	7.5415
13	80.3067	7.54288
14	80.3075	7.5433
15	80.3075	7.5433
16	80.3071	7.54619
17	80.3074	7.54871
18	80.307	7.55135
19	80.3045	7.55323
20	80.3041	7.55395
21	80.3049	7.55488
22	80.3051	7.55472
23	80.3048	7.55412
24	80.3067	7.5546
25	80.3069	7.55403
26	80.3075	7.55463
27	80.3081	7.55455
28	80.3082	7.55403
29	80.3088	7.5541
30	80.3096	7.55406
31	80.3094	7.55375
32	80.3121	7.55121
33	80.3127	7.55104

34	80.3116	7.55018
35	80.3146	7.54851
36	80.3159	7.54696
37	80.316	7.54621
38	80.3167	7.54613
39	80.3175	7.5442
40	80.319	7.54467
41	80.3196	7.54341
42	80.3197	7.54309
43	80.3204	7.54139
44	80.3223	7.54166
45	80.3229	7.54018
46	80.3243	7.53941
47	80.3246	7.53783
48	80.3268	7.53767
49	80.3274	7.53708
50	80.3277	7.53723
51	80.3287	7.53596
52	80.3285	7.53576
53	80.3289	7.53474
54	80.3306	7.53354
55	80.3301	7.53279
56	80.3313	7.53181
57	80.3312	7.53157
58	80.3312	7.52881
59	80.3286	7.52831
60	80.3292	7.52683
61	80.3272	7.52541
62	80.3296	7.52261
63	80.4029	7.50922
64	80.4044	7.51244
65	80.4048	7.51317
66	80.4088	7.51451
67	80.4109	7.51692
68	80.4136	7.52109
69	80.4146	7.52126
70	80.4169	7.52252
71	80.4191	7.52144
72	80.4192	7.52168
73	80.42	7.52203

74	80.4201	7.52177
75	80.4218	7.52305
76	80.4241	7.52349
77	80.424	7.52422
78	80.4264	7.52469
79	80.4281	7.52104
80	80.4292	7.51894
81	80.4282	7.51802
82	80.4271	7.519
83	80.4264	7.51626
84	80.4255	7.51519
85	80.4241	7.51403
86	80.4227	7.51353
87	80.4217	7.5133
88	80.4186	7.51195
89	80.4173	7.51156
90	80.4175	7.50995
91	80.4156	7.50945
92	80.4142	7.50884
93	80.4137	7.50781
94	80.4147	7.50585
95	80.4145	7.50538
96	80.415	7.50538
97	80.4139	7.50396
98	80.4134	7.50306
99	80.4134	7.50304
100	80.4128	7.50294
101	80.4125	7.50333
102	80.4085	7.50423
103	80.4067	7.50373
104	80.3607	7.42139
105	80.3612	7.4213
106	80.3623	7.42148
107	80.3628	7.4213
108	80.3634	7.42109
109	80.3638	7.42074
110	80.3642	7.4204
111	80.3644	7.42017
112	80.3649	7.41974
113	80.3652	7.41889

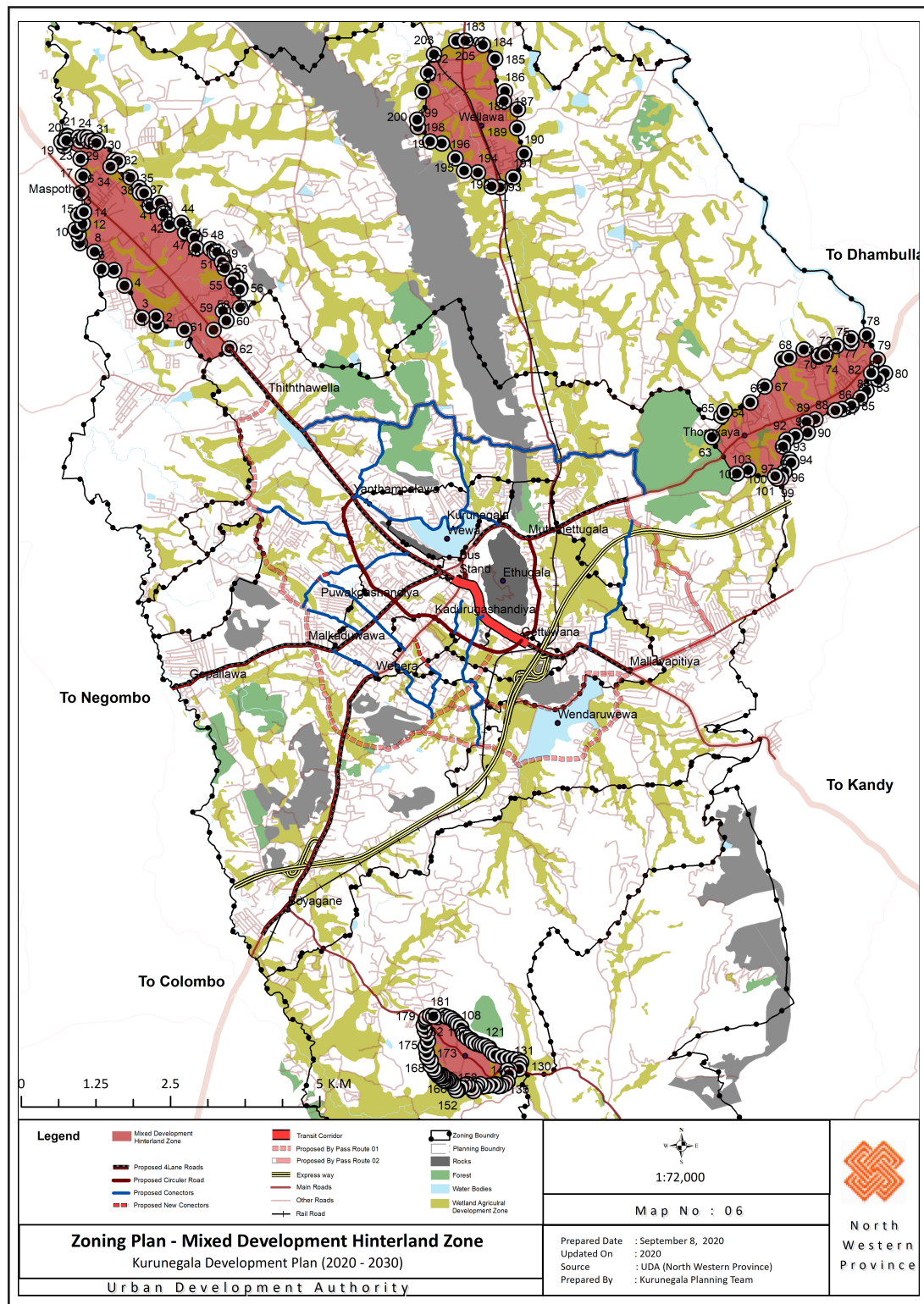
114	80.3654	7.41858
115	80.3659	7.41816
116	80.3665	7.4178
117	80.3667	7.41756
118	80.3671	7.41731
119	80.3678	7.41712
120	80.3682	7.417
121	80.3686	7.41691
122	80.3691	7.4166
123	80.3693	7.41626
124	80.3697	7.41576
125	80.3701	7.41553
126	80.3711	7.41526
127	80.3719	7.41504
128	80.3727	7.41492
129	80.3734	7.41483
130	80.374	7.41445
131	80.3737	7.41405
132	80.3737	7.41342
133	80.3723	7.41334
134	80.3719	7.41323
135	80.3722	7.41263
136	80.3719	7.41149
137	80.3716	7.41119
138	80.371	7.41088
139	80.3706	7.41083
140	80.3701	7.41112
141	80.3698	7.41099
142	80.369	7.41088
143	80.3683	7.41079
144	80.3678	7.4111
145	80.3673	7.41087
146	80.3671	7.41046
147	80.3668	7.41008
148	80.3665	7.41051
149	80.3659	7.41112
150	80.3655	7.41097
151	80.3648	7.41057
152	80.3644	7.41019
153	80.3642	7.41018

154	80.3639	7.41072
155	80.3637	7.41119
156	80.3633	7.41162
157	80.3631	7.4118
158	80.3628	7.41168
159	80.3625	7.41159
160	80.3623	7.4117
161	80.3622	7.41203
162	80.3621	7.41237
163	80.362	7.41246
164	80.3617	7.41245
165	80.3615	7.4124
166	80.3613	7.41268
167	80.361	7.41291
168	80.3609	7.41309
169	80.3608	7.41343
170	80.3603	7.41399
171	80.3603	7.41466
172	80.3598	7.41519
173	80.3597	7.41586
174	80.3596	7.41684
175	80.3599	7.41764
176	80.3597	7.41865
177	80.3594	7.41931
178	80.3592	7.42007
179	80.3595	7.42095
180	80.3597	7.42121
181	80.3602	7.42148
182	80.3607	7.42139
183	80.3654	7.56931
184	80.3681	7.56867
185	80.3699	7.56655
186	80.3714	7.56163
187	80.3713	7.56016
188	80.3734	7.55893
189	80.3733	7.55607
190	80.3744	7.55219
191	80.3727	7.54859
192	80.3707	7.54708
193	80.3694	7.54721

194	80.3673	7.54934
195	80.3652	7.54961
196	80.3639	7.55148
197	80.3619	7.55374
198	80.3601	7.55402
199	80.3582	7.55621
200	80.3581	7.55732
201	80.3589	7.56163
202	80.3598	7.56443
203	80.3606	7.56725
204	80.364	7.56928
205	80.3654	7.56931

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Mixed Development Hinterland Zone



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 12: Zonning Boundaries and map of the mixed Residential Zone

Zonning Cordinates

Cordinates	X Cordinates	Y Cordinates
0	80.3655	7.57305
1	80.3687	7.57277
2	80.3697	7.57405
3	80.37	7.57402
4	80.3703	7.57327
5	80.3717	7.57328
6	80.3719	7.57295
7	80.3731	7.57259
8	80.3743	7.5709
9	80.3744	7.56856
10	80.3768	7.5676
11	80.3761	7.56543
12	80.3794	7.56216
13	80.3811	7.56376
14	80.384	7.56726
15	80.3844	7.56791
16	80.3865	7.56844
17	80.3885	7.5672
18	80.3895	7.56619
19	80.3907	7.56629
20	80.391	7.56729
21	80.3928	7.56482
22	80.3943	7.56487
23	80.3948	7.56612
24	80.3993	7.56664
25	80.3993	7.56664
26	80.3971	7.56489
27	80.3971	7.56348
28	80.3983	7.56218
29	80.4001	7.56055
30	80.4014	7.55817
31	80.4041	7.55333
32	80.407	7.54857
33	80.4094	7.54679

34	80.4111	7.54532
35	80.4109	7.54073
36	80.4164	7.53457
37	80.4201	7.53441
38	80.4237	7.53071
39	80.4255	7.52942
40	80.424	7.52422
41	80.4241	7.52349
42	80.4218	7.52305
43	80.4201	7.52177
44	80.42	7.52203
45	80.4192	7.52168
46	80.4191	7.52144
47	80.4169	7.52252
48	80.4146	7.52126
49	80.4136	7.52109
50	80.4109	7.51692
51	80.4088	7.51451
52	80.4048	7.51317
53	80.4044	7.51244
54	80.4044	7.51243
55	80.4041	7.51166
56	80.4031	7.512
57	80.4012	7.51251
58	80.4004	7.51409
59	80.3993	7.51605
60	80.3963	7.51614
61	80.3937	7.51554
62	80.3923	7.51313
63	80.3875	7.51556
64	80.3865	7.51791
65	80.3836	7.51741
66	80.3821	7.51786
67	80.3815	7.51709
68	80.381	7.51721
69	80.3808	7.51697
70	80.3803	7.51734
71	80.3802	7.51735
72	80.3796	7.51687
73	80.3792	7.51713

74	80.3792	7.51813
75	80.3794	7.51842
76	80.3791	7.51881
77	80.3704	7.51657
78	80.3664	7.52347
79	80.3644	7.53028
80	80.3536	7.52209
81	80.3537	7.52101
82	80.3545	7.52045
83	80.3544	7.51939
84	80.3527	7.51838
85	80.3495	7.51843
86	80.3495	7.52049
87	80.3442	7.52017
88	80.3428	7.51982
89	80.3413	7.52102
90	80.3402	7.52224
91	80.3402	7.523
92	80.3389	7.52433
93	80.3387	7.52551
94	80.3378	7.52641
95	80.3357	7.53128
96	80.3348	7.53066
97	80.3339	7.52965
98	80.3333	7.52952
99	80.3318	7.52877
100	80.3312	7.52881
101	80.3312	7.53157
102	80.3313	7.53181
103	80.3301	7.53279
104	80.3306	7.53354
105	80.3289	7.53474
106	80.3285	7.53576
107	80.3287	7.53596
108	80.3277	7.53723
109	80.3274	7.53708
110	80.3268	7.53767
111	80.3246	7.53783
112	80.3243	7.53941
113	80.3229	7.54018

114	80.3223	7.54166
115	80.3204	7.54139
116	80.3197	7.54309
117	80.3196	7.54341
118	80.319	7.54467
119	80.3175	7.5442
120	80.3167	7.54613
121	80.316	7.54621
122	80.3159	7.54696
123	80.3146	7.54851
124	80.3116	7.55018
125	80.3127	7.55104
126	80.3121	7.55121
127	80.3094	7.55375
128	80.3096	7.55406
129	80.3088	7.5541
130	80.3082	7.55403
131	80.3081	7.55455
132	80.3075	7.55463
133	80.3069	7.55403
134	80.3067	7.5546
135	80.3048	7.55412
136	80.3051	7.55472
137	80.3049	7.55526
138	80.3042	7.55603
139	80.3044	7.55743
140	80.3047	7.55807
141	80.3049	7.55831
142	80.3042	7.55887
143	80.3042	7.55985
144	80.303	7.56078
145	80.3038	7.5615
146	80.3039	7.56215
147	80.3032	7.5622
148	80.3034	7.563
149	80.3029	7.56355
150	80.3033	7.56453
151	80.3047	7.56586
152	80.3048	7.5674
153	80.3033	7.56862

154	80.3021	7.56824
155	80.3026	7.57014
156	80.3021	7.57135
157	80.3036	7.57147
158	80.3027	7.57274
159	80.3029	7.57356
160	80.305	7.57255
161	80.3076	7.57199
162	80.3095	7.57189
163	80.3105	7.57126
164	80.3118	7.57091
165	80.312	7.5705
166	80.3141	7.5705
167	80.3151	7.57117
168	80.3158	7.57022
169	80.3162	7.56974
170	80.3169	7.56882
171	80.3172	7.56818
172	80.3181	7.56764
173	80.3207	7.56769
174	80.3223	7.56654
175	80.3222	7.56567
176	80.324	7.56507
177	80.3244	7.56472
178	80.3248	7.56365
179	80.3255	7.56358
180	80.3263	7.56284
181	80.327	7.56338
182	80.3289	7.56424
183	80.3294	7.56385
184	80.3307	7.56532
185	80.3307	7.56612
186	80.3319	7.56732
187	80.3327	7.56831
188	80.3335	7.56834
189	80.3364	7.56688
190	80.3379	7.56821
191	80.3418	7.56448
192	80.3422	7.56536
193	80.3434	7.5665

194	80.3444	7.56968
195	80.3481	7.56973
196	80.3489	7.5706
197	80.3513	7.57062
198	80.3523	7.57148
199	80.3534	7.57316
200	80.3555	7.57296
201	80.356	7.57241
202	80.3571	7.57222
203	80.3576	7.57149
204	80.3586	7.57212
205	80.3579	7.57325
206	80.3564	7.57598
207	80.3602	7.57622
208	80.3603	7.57577
209	80.3618	7.57585
210	80.3619	7.57577
211	80.365	7.57833
212	80.366	7.57859
213	80.364	7.56928
214	80.3606	7.56725
215	80.3598	7.56443
216	80.3589	7.56163
217	80.3581	7.55732
218	80.3582	7.55621
219	80.3601	7.55402
220	80.3619	7.55374
221	80.3639	7.55148
222	80.3652	7.54961
223	80.3673	7.54934
224	80.3694	7.54721
225	80.3707	7.54708
226	80.3727	7.54859
227	80.3744	7.55219
228	80.3733	7.55607
229	80.3734	7.55893
230	80.3713	7.56016
231	80.3714	7.56163
232	80.3699	7.56655
233	80.3681	7.56867

234	80.3654	7.56931
235	80.3121	7.53448
236	80.3137	7.53214
237	80.3163	7.52727
238	80.3185	7.52741
239	80.3186	7.52614
240	80.3228	7.52547
241	80.3256	7.5184
242	80.327	7.51728
243	80.328	7.51619
244	80.3269	7.51533
245	80.3278	7.51415
246	80.329	7.5135
247	80.3287	7.51309
248	80.329	7.51264
249	80.3297	7.51258
250	80.3307	7.51152
251	80.3313	7.50783
252	80.3318	7.50636
253	80.3321	7.50586
254	80.3324	7.50584
255	80.3328	7.50442
256	80.3326	7.50432
257	80.3332	7.50321
258	80.3332	7.50269
259	80.3331	7.50086
260	80.3322	7.49964
261	80.3315	7.49907
262	80.3268	7.49922
263	80.3251	7.49829
264	80.3235	7.49762
265	80.3221	7.49655
266	80.3232	7.49552
267	80.3241	7.4934
268	80.3257	7.49182
269	80.3265	7.49116
270	80.326	7.49069
271	80.3237	7.48966
272	80.3215	7.48791
273	80.3199	7.48618

274	80.3191	7.48679
275	80.3181	7.48944
276	80.3177	7.49202
277	80.3169	7.49192
278	80.3155	7.49572
279	80.3127	7.49501
280	80.3108	7.49642
281	80.3117	7.49761
282	80.3112	7.49946
283	80.3105	7.49925
284	80.3098	7.50053
285	80.3093	7.50041
286	80.3088	7.49931
287	80.3077	7.50028
288	80.3073	7.50272
289	80.3043	7.50283
290	80.3055	7.50655
291	80.3056	7.50973
292	80.3077	7.50946
293	80.3075	7.51119
294	80.3091	7.51223
295	80.3089	7.51473
296	80.3106	7.51661
297	80.3113	7.51813
298	80.3107	7.52067
299	80.3112	7.52153
300	80.3091	7.52361
301	80.3078	7.52481
302	80.3081	7.52732
303	80.3095	7.52842
304	80.3106	7.52852
305	80.3102	7.53116
306	80.3095	7.53409
307	80.3102	7.53463
308	80.404	7.46076
309	80.4052	7.46075
310	80.4066	7.46054
311	80.4074	7.4601
312	80.4075	7.4599
313	80.4068	7.45967

314	80.4061	7.45933
315	80.4054	7.45842
316	80.405	7.45776
317	80.4047	7.45704
318	80.4045	7.45694
319	80.4035	7.45631
320	80.4028	7.45557
321	80.403	7.45507
322	80.4032	7.45423
323	80.403	7.45379
324	80.402	7.45281
325	80.4018	7.45107
326	80.4019	7.45034
327	80.403	7.45146
328	80.4041	7.45129
329	80.4041	7.45038
330	80.4039	7.4496
331	80.4043	7.4489
332	80.405	7.44838
333	80.4046	7.44744
334	80.4046	7.44676
335	80.4042	7.44583
336	80.4031	7.44478
337	80.4014	7.4444
338	80.3934	7.44382
339	80.3925	7.44159
340	80.3914	7.43986
341	80.3905	7.43973
342	80.3898	7.43718
343	80.3891	7.43676
344	80.3892	7.43633
345	80.3888	7.43568
346	80.3887	7.43564
347	80.3882	7.43576
348	80.3873	7.43462
349	80.3869	7.43319
350	80.386	7.43285
351	80.3858	7.43287
352	80.3852	7.43224
353	80.3847	7.43173

354	80.3839	7.43112
355	80.3833	7.43053
356	80.3828	7.431
357	80.3822	7.43131
358	80.3814	7.43176
359	80.3809	7.4328
360	80.3802	7.43329
361	80.3797	7.43413
362	80.379	7.43494
363	80.3783	7.43479
364	80.3784	7.43437
365	80.3781	7.43358
366	80.3774	7.43304
367	80.3771	7.43259
368	80.377	7.43178
369	80.3769	7.43182
370	80.3761	7.43114
371	80.376	7.43012
372	80.3758	7.4294
373	80.3757	7.42898
374	80.3754	7.42825
375	80.3751	7.42805
376	80.3749	7.42787
377	80.375	7.42725
378	80.3752	7.42675
379	80.3754	7.42595
380	80.3759	7.42451
381	80.3762	7.42363
382	80.3766	7.42296
383	80.3773	7.42136
384	80.3778	7.4202
385	80.3783	7.41863
386	80.3788	7.41658
387	80.379	7.41497
388	80.3791	7.4143
389	80.3794	7.41401
390	80.3791	7.41361
391	80.3789	7.41283
392	80.3774	7.41264
393	80.3763	7.41265

394	80.3752	7.41275
395	80.374	7.41115
396	80.375	7.41049
397	80.3746	7.41016
398	80.3751	7.40923
399	80.3753	7.40793
400	80.3745	7.40769
401	80.3736	7.40761
402	80.3745	7.40618
403	80.3746	7.4053
404	80.3748	7.40452
405	80.3749	7.40365
406	80.375	7.40316
407	80.3755	7.40218
408	80.3747	7.40163
409	80.3742	7.40128
410	80.3739	7.40097
411	80.3725	7.40074
412	80.3716	7.40061
413	80.3709	7.40061
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418	80.3672	7.4034
419	80.3657	7.40331
420	80.3655	7.40438
421	80.3652	7.40428
422	80.3649	7.40454
423	80.3641	7.40472
424	80.3634	7.40521
425	80.3618	7.40536
426	80.3608	7.4051
427	80.3603	7.40529
428	80.3592	7.40556
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430	80.3584	7.40513
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433	80.3563	7.4048

434	80.3555	7.40476
435	80.3548	7.4051
436	80.3543	7.40539
437	80.3544	7.40407
438	80.3538	7.40354
439	80.3526	7.40305
440	80.3515	7.40263
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443	80.3489	7.40396
444	80.3481	7.40464
445	80.3466	7.40498
446	80.3456	7.40541
447	80.3447	7.40564
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449	80.3441	7.40618
450	80.3436	7.40618
451	80.3435	7.40672
452	80.343	7.40708
453	80.3429	7.40783
454	80.3421	7.40775
455	80.3417	7.40782
456	80.341	7.40783
457	80.3407	7.40882
458	80.3415	7.40963
459	80.3408	7.4103
460	80.3408	7.41031
461	80.3411	7.41038
462	80.3414	7.41098
463	80.3416	7.41187
464	80.3418	7.41275
465	80.342	7.41358
466	80.3428	7.41455
467	80.3424	7.41513
468	80.3421	7.41576
469	80.342	7.41641
470	80.3424	7.41705
471	80.3427	7.41747
472	80.3423	7.41765
473	80.3417	7.41781

474	80.3417	7.4186
475	80.3411	7.41889
476	80.3408	7.41945
477	80.3408	7.42004
478	80.3403	7.42034
479	80.3397	7.42073
480	80.3393	7.42103
481	80.3388	7.42078
482	80.3386	7.42113
483	80.3384	7.42148
484	80.3381	7.42176
485	80.3379	7.42255
486	80.3387	7.42284
487	80.3384	7.42341
488	80.3381	7.4237
489	80.3378	7.42448
490	80.3374	7.42504
491	80.3365	7.42488
492	80.3359	7.42462
493	80.3353	7.42521
494	80.335	7.42617
495	80.3353	7.42659
496	80.3356	7.42693
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498	80.3362	7.42774
499	80.3371	7.42838
500	80.3375	7.42868
501	80.3379	7.42858
502	80.3384	7.42853
503	80.3389	7.42842
504	80.3393	7.42843
505	80.34	7.42891
506	80.34	7.42946
507	80.3403	7.43001
508	80.3408	7.43111
509	80.3411	7.43106
510	80.3417	7.43131
511	80.3423	7.43118
512	80.3424	7.43138
513	80.3428	7.43145

514	80.3431	7.43177
515	80.3433	7.43151
516	80.3436	7.43123
517	80.3438	7.43133
518	80.3439	7.43173
519	80.3443	7.43186
520	80.3448	7.43215
521	80.3454	7.43239
522	80.346	7.43277
523	80.347	7.4336
524	80.3482	7.43367
525	80.3481	7.43503
526	80.3484	7.43612
527	80.349	7.43664
528	80.349	7.43743
529	80.3484	7.43952
530	80.3481	7.44029
531	80.3479	7.44097
532	80.3487	7.44103
533	80.3498	7.4413
534	80.3495	7.44215
535	80.3495	7.44262
536	80.3499	7.44287
537	80.3508	7.44272
538	80.3513	7.44365
539	80.3527	7.44408
540	80.3544	7.44311
541	80.3552	7.44234
542	80.3562	7.44258
543	80.3569	7.44364
544	80.3584	7.44321
545	80.3597	7.4427
546	80.3601	7.4431
547	80.3598	7.44381
548	80.3603	7.445
549	80.3603	7.446
550	80.3609	7.44768
551	80.3609	7.44896
552	80.3616	7.44935
553	80.3623	7.44984

554	80.3636	7.44995
555	80.3655	7.4504
556	80.3677	7.45102
557	80.3698	7.45126
558	80.371	7.45168
559	80.3711	7.45227
560	80.3709	7.45269
561	80.3716	7.45305
562	80.3722	7.4538
563	80.3724	7.45447
564	80.3732	7.45443
565	80.3737	7.45467
566	80.3741	7.45445
567	80.3748	7.4543
568	80.3751	7.45458
569	80.3756	7.45437
570	80.3758	7.45509
571	80.3774	7.45519
572	80.3775	7.4552
573	80.3796	7.45613
574	80.3818	7.45616
575	80.3844	7.45606
576	80.3855	7.4556
577	80.3857	7.45553
578	80.3863	7.45575
579	80.388	7.45647
580	80.3894	7.45623
581	80.3903	7.45595
582	80.3908	7.4562
583	80.3916	7.45649
584	80.3928	7.45646
585	80.3928	7.4564
586	80.393	7.4565
587	80.3947	7.45652
588	80.3965	7.45634
589	80.3971	7.45681
590	80.3972	7.4567
591	80.3977	7.45672
592	80.3978	7.45694
593	80.3983	7.45682

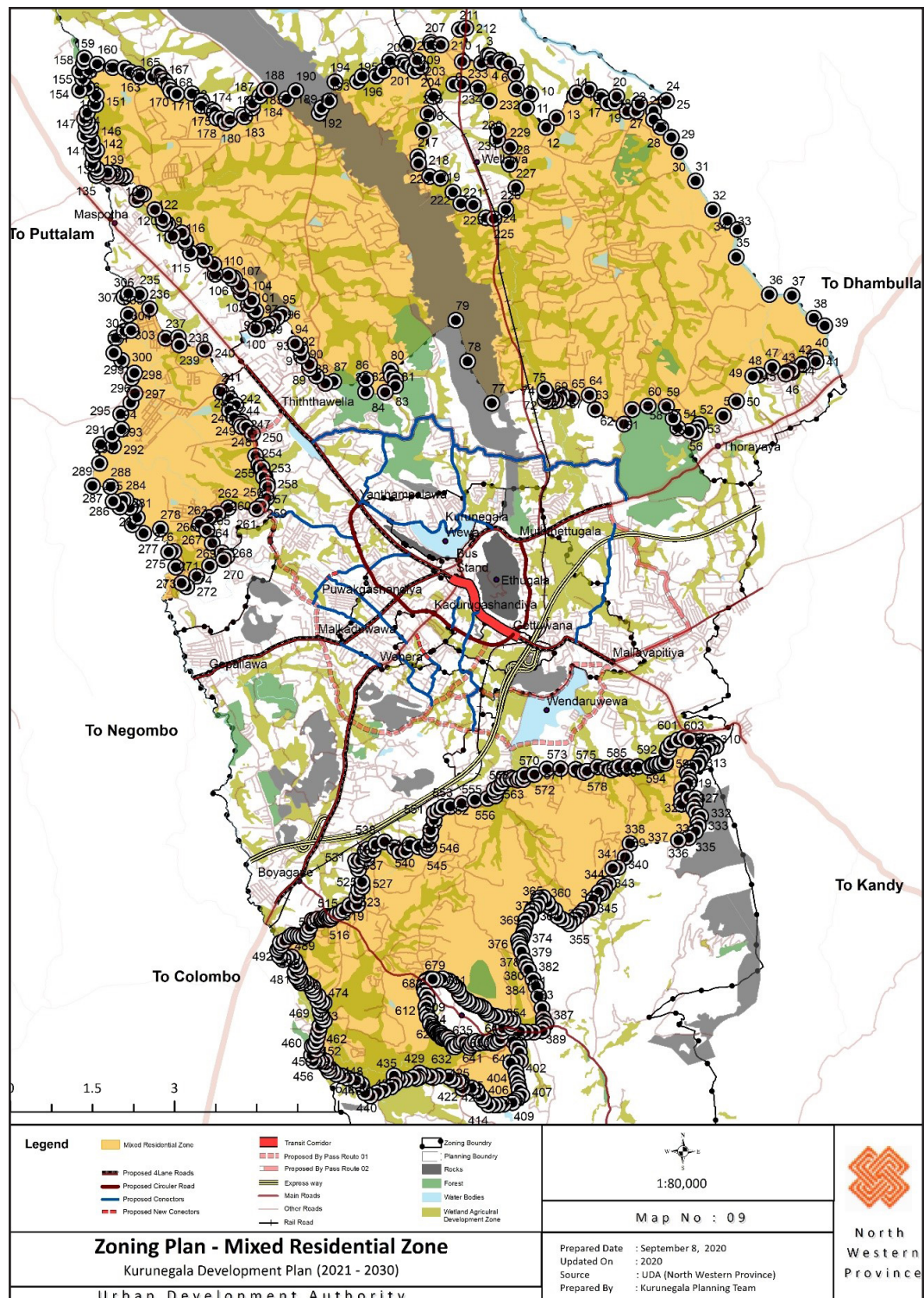
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595	80.3992	7.45707
596	80.3991	7.45746
597	80.3995	7.45901
598	80.3998	7.45906
599	80.3997	7.45969
600	80.4002	7.46035
601	80.4013	7.46097
602	80.4023	7.46134
603	80.4031	7.46091
604	80.3607	7.42139
605	80.3602	7.42148
606	80.3597	7.42121
607	80.3595	7.42095
608	80.3592	7.42007
609	80.3594	7.41931
610	80.3597	7.41865
611	80.3599	7.41764
612	80.3596	7.41684
613	80.3597	7.41586
614	80.3598	7.41519
615	80.3603	7.41466
616	80.3603	7.41399
617	80.3608	7.41343
618	80.3609	7.41309
619	80.361	7.41291
620	80.3613	7.41268
621	80.3615	7.4124
622	80.3617	7.41245
623	80.362	7.41246
624	80.3621	7.41237
625	80.3622	7.41203
626	80.3623	7.4117
627	80.3625	7.41159
628	80.3628	7.41168
629	80.3631	7.4118
630	80.3633	7.41162
631	80.3637	7.41119
632	80.3639	7.41072
633	80.3642	7.41018

634	80.3644	7.41019
635	80.3648	7.41057
636	80.3655	7.41097
637	80.3659	7.41112
638	80.3665	7.41051
639	80.3668	7.41008
640	80.3671	7.41046
641	80.3673	7.41087
642	80.3678	7.4111
643	80.3683	7.41079
644	80.369	7.41088
645	80.3698	7.41099
646	80.3701	7.41112
647	80.3706	7.41083
648	80.371	7.41088
649	80.3716	7.41119
650	80.3719	7.41149
651	80.3722	7.41263
652	80.3719	7.41323
653	80.3723	7.41334
654	80.3737	7.41342
655	80.3737	7.41405
656	80.374	7.41445
657	80.3734	7.41483
658	80.3727	7.41492
659	80.3719	7.41504
660	80.3711	7.41526
661	80.3701	7.41553
662	80.3697	7.41576
663	80.3693	7.41626
664	80.3691	7.4166
665	80.3686	7.41691
666	80.3682	7.417
667	80.3678	7.41712
668	80.3671	7.41731
669	80.3667	7.41756
670	80.3665	7.4178
671	80.3659	7.41816
672	80.3654	7.41858
673	80.3652	7.41889

674	80.3649	7.41974
675	80.3644	7.42017
676	80.3642	7.4204
677	80.3638	7.42074
678	80.3634	7.42109
679	80.3628	7.4213
680	80.3623	7.42148
681	80.3612	7.4213
682	80.3607	7.42139

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Mixed Residential Zone



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 13: Zonning Boundaries and map of the Industrial Zone

Zonning Cordinates

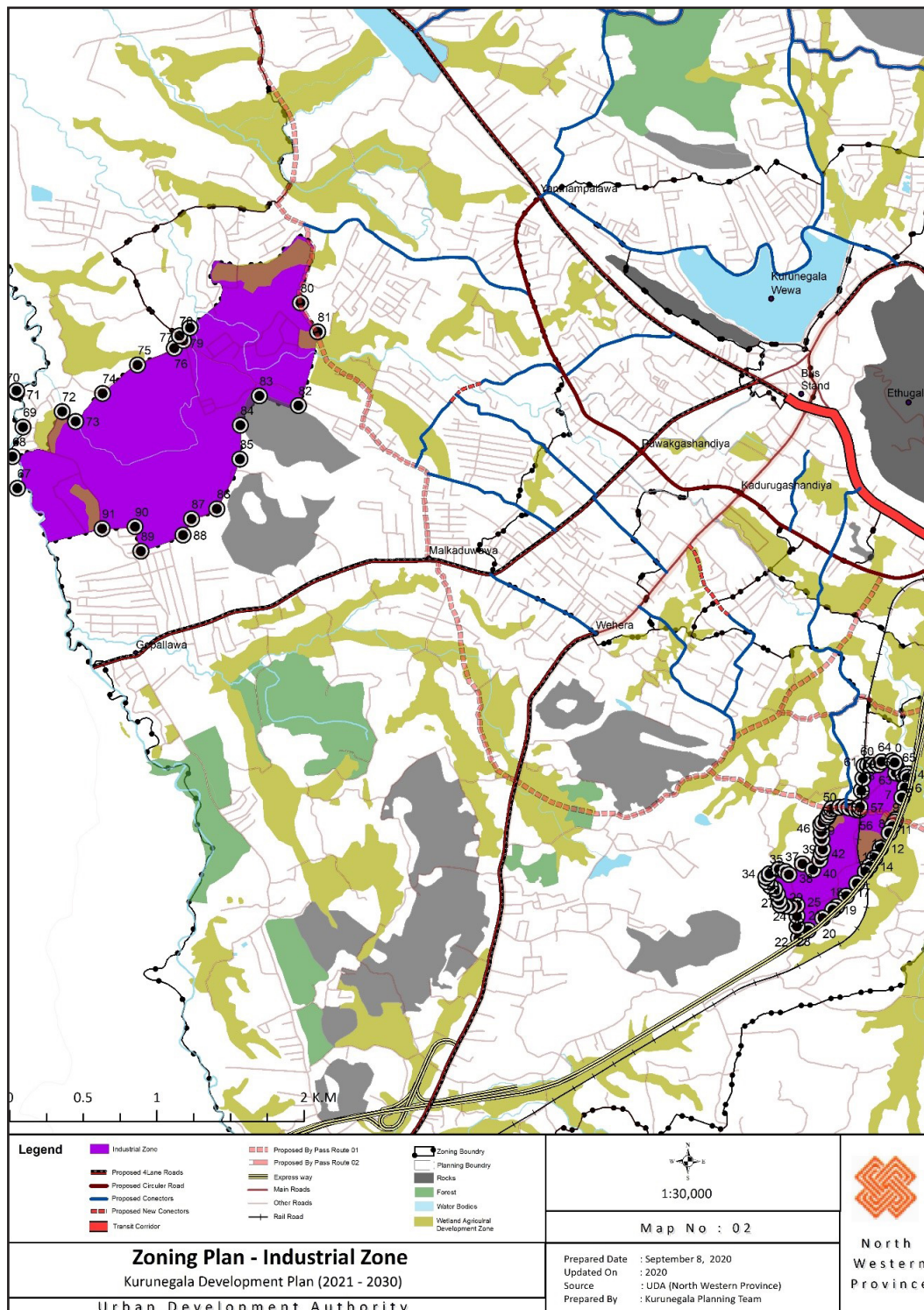
Cordinates	X Cordinates	Y Cordinates
0	80.3704	7.46526
1	80.3704	7.46503
2	80.3704	7.46463
3	80.3708	7.46454
4	80.3711	7.46457
5	80.3711	7.46436
6	80.371	7.46373
7	80.3708	7.46311
8	80.3704	7.46177
9	80.3703	7.46161
10	80.3702	7.46136
11	80.37	7.46095
12	80.3695	7.46001
13	80.3691	7.45941
14	80.3688	7.45891
15	80.3686	7.45858
16	80.368	7.45785
17	80.3674	7.45708
18	80.3668	7.45642
19	80.3665	7.45623
20	80.3659	7.45572
21	80.365	7.45498
22	80.3644	7.45449
23	80.3643	7.45521
24	80.3643	7.45584
25	80.3643	7.4565
26	80.3639	7.4564
27	80.3636	7.45644
28	80.3633	7.45652
29	80.3632	7.45679
30	80.3631	7.45719
31	80.363	7.4575
32	80.3627	7.45768
33	80.3625	7.45796

34	80.3624	7.45823
35	80.3626	7.45844
36	80.3632	7.45872
37	80.3636	7.45858
38	80.3638	7.45839
39	80.3647	7.45905
40	80.3653	7.45869
41	80.3658	7.45929
42	80.3658	7.4597
43	80.3659	7.45994
44	80.3659	7.46058
45	80.3658	7.461
46	80.3658	7.46148
47	80.3659	7.46161
48	80.3662	7.46191
49	80.3663	7.46204
50	80.3664	7.46225
51	80.3665	7.46243
52	80.367	7.46252
53	80.3673	7.46254
54	80.3676	7.46247
55	80.368	7.46237
56	80.3682	7.46236
57	80.3682	7.46253
58	80.3683	7.46354
59	80.3684	7.46428
60	80.3685	7.46506
61	80.3687	7.46512
62	80.369	7.4651
63	80.3694	7.46513
64	80.3695	7.46532
65	80.3702	7.46538
66	80.3704	7.46526
67	80.3163	7.48208
68	80.316	7.48401
69	80.3166	7.48584
70	80.3162	7.48797
71	80.3163	7.48807
72	80.3191	7.48679
73	80.3199	7.48618

74	80.3215	7.48791
75	80.3237	7.48966
76	80.326	7.49069
77	80.3265	7.49116
78	80.3263	7.49145
79	80.3269	7.49194
80	80.3337	7.49349
81	80.3348	7.4917
82	80.3336	7.48718
83	80.3312	7.48777
84	80.33	7.48596
85	80.33	7.48388
86	80.3286	7.48082
87	80.327	7.48019
88	80.3265	7.47921
89	80.3239	7.47821
90	80.3236	7.47971
91	80.3215	7.4796

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Industrial Zone



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 14: Zonning Boundaries and Map of the Low Density Residential Zone

Zonning Cordinates

FID	x	y
0	80.4068	7.45594
1	80.407	7.45495
2	80.4075	7.45403
3	80.4075	7.45367
4	80.4077	7.45365
5	80.4087	7.45135
6	80.411	7.4463
7	80.4116	7.44309
8	80.4123	7.44113
9	80.4125	7.43974
10	80.413	7.43859
11	80.4141	7.43366
12	80.414	7.43366
13	80.4145	7.43051
14	80.4142	7.42579
15	80.4149	7.42436
16	80.4154	7.42344
17	80.4144	7.4228
18	80.4129	7.4217
19	80.4114	7.42059
20	80.4098	7.42023
21	80.409	7.42009
22	80.4062	7.41958
23	80.4043	7.41949
24	80.4023	7.41905
25	80.4012	7.41873
26	80.4007	7.41824
27	80.3999	7.4178
28	80.399	7.41729
29	80.3985	7.41685
30	80.398	7.41641
31	80.3971	7.41553
32	80.3963	7.41493
33	80.3985	7.41538

34	80.4	7.41595
35	80.4019	7.41563
36	80.4022	7.41476
37	80.4019	7.41489
38	80.4019	7.41446
39	80.4019	7.41441
40	80.4016	7.41442
41	80.402	7.41422
42	80.4019	7.41412
43	80.4014	7.41429
44	80.4013	7.4141
45	80.4018	7.41369
46	80.4042	7.41289
47	80.4039	7.41169
48	80.4048	7.41133
49	80.4043	7.4104
50	80.404	7.41023
51	80.4059	7.40788
52	80.4059	7.40786
53	80.4076	7.4053
54	80.4072	7.40442
55	80.4069	7.40307
56	80.4073	7.40223
57	80.4074	7.40037
58	80.4075	7.40037
59	80.4075	7.3997
60	80.4075	7.39933
61	80.4075	7.39908
62	80.4076	7.3974
63	80.4075	7.39578
64	80.4076	7.39475
65	80.4076	7.39414
66	80.4076	7.39351
67	80.4078	7.39166
68	80.4079	7.39009
69	80.4075	7.38802
70	80.4072	7.38648
71	80.4066	7.38704
72	80.4053	7.38707
73	80.4042	7.38728

74	80.4033	7.38763
75	80.402	7.38882
76	80.4004	7.38905
77	80.3991	7.3902
78	80.3978	7.39101
79	80.3964	7.39193
80	80.3957	7.39237
81	80.3948	7.39324
82	80.3943	7.39423
83	80.3936	7.39564
84	80.393	7.39626
85	80.3922	7.3966
86	80.3908	7.39644
87	80.3876	7.39556
88	80.3853	7.39477
89	80.3829	7.39451
90	80.3807	7.39422
91	80.3799	7.39371
92	80.3774	7.39201
93	80.3753	7.39132
94	80.3708	7.39026
95	80.3691	7.38985
96	80.367	7.38925
97	80.3644	7.38848
98	80.361	7.38753
99	80.3591	7.38693
100	80.3576	7.38632
101	80.3547	7.38658
102	80.3506	7.38692
103	80.3482	7.38709
104	80.3485	7.38904
105	80.3498	7.39036
106	80.3493	7.39281
107	80.3479	7.39461
108	80.3471	7.39679
109	80.3471	7.3968
110	80.3469	7.3984
111	80.3446	7.39953
112	80.3446	7.40091
113	80.3443	7.40239

114	80.3443	7.4024
115	80.3444	7.40287
116	80.3442	7.40312
117	80.3441	7.40342
118	80.3438	7.40366
119	80.3439	7.40391
120	80.3445	7.40432
121	80.3446	7.40477
122	80.3446	7.40477
123	80.3443	7.40511
124	80.3447	7.40564
125	80.3456	7.40541
126	80.3466	7.40498
127	80.3481	7.40464
128	80.3489	7.40396
129	80.3495	7.40257
130	80.3504	7.40206
131	80.3515	7.40263
132	80.3526	7.40305
133	80.3538	7.40354
134	80.3544	7.40407
135	80.3543	7.40539
136	80.3548	7.4051
137	80.3555	7.40476
138	80.3563	7.4048
139	80.3575	7.40515
140	80.358	7.40499
141	80.3584	7.40513
142	80.3585	7.4059
143	80.3592	7.40556
144	80.3603	7.40529
145	80.3608	7.4051
146	80.3618	7.40536
147	80.3634	7.40521
148	80.3641	7.40472
149	80.3649	7.40454
150	80.3652	7.40428
151	80.3655	7.40438
152	80.3657	7.40331
153	80.3672	7.4034

154	80.368	7.40298
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156	80.3691	7.40137
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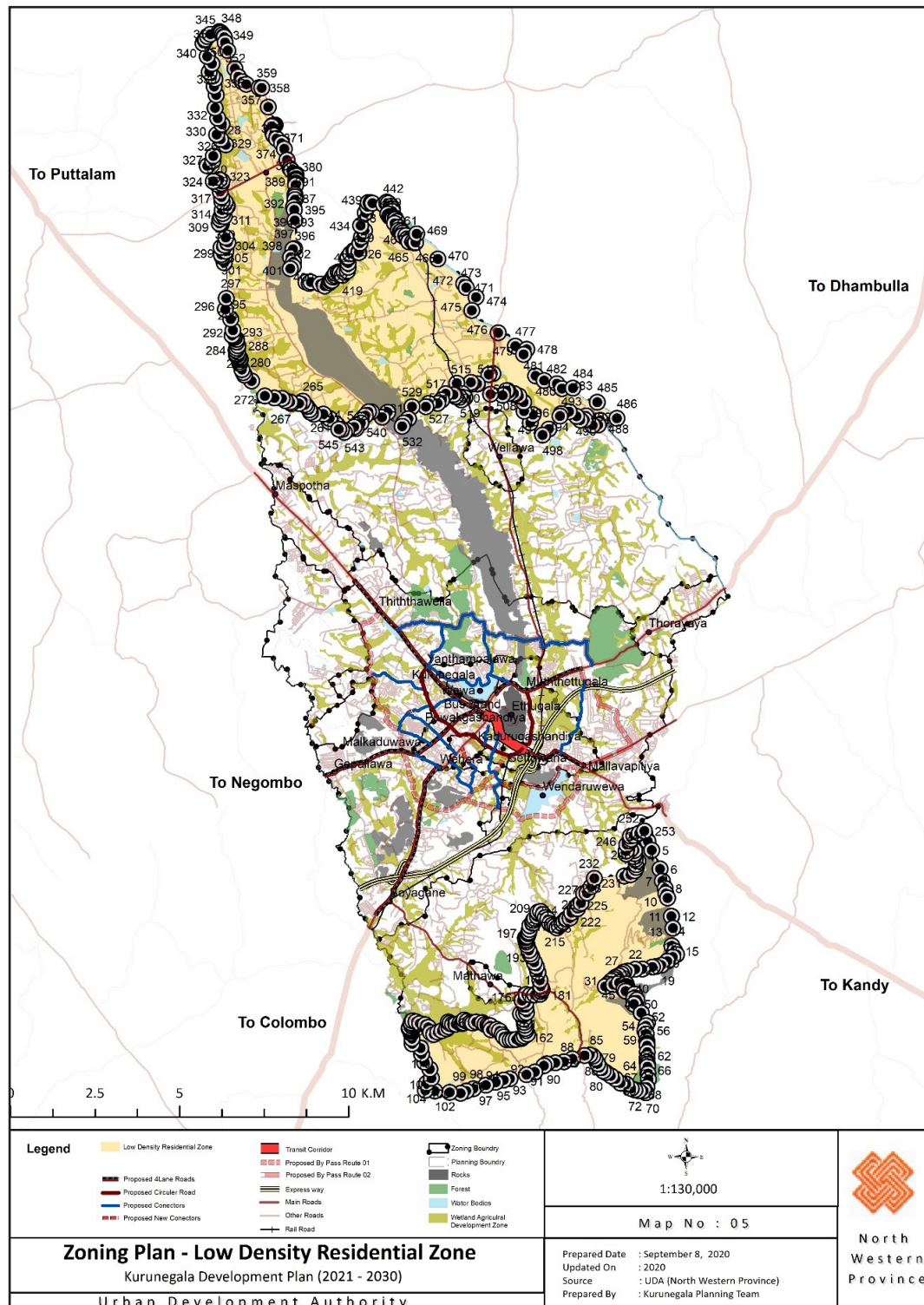
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538	80.3307	7.56612
539	80.3307	7.56532
540	80.3294	7.56385
541	80.3289	7.56424
542	80.327	7.56338
543	80.3263	7.56284
544	80.3255	7.56358
545	80.3248	7.56365

Source: Urban Development Authority North Western provincial Office, 2020

Map of the Low Density Residential Zone



Source: Urban Development Authority North Western provincial Office, 2020

Attachement 15 - Height Control Plan Zoninig Boundaries

1	7° 29' 32.300" N	80° 22' 8.757" E	41	7° 29' 22.858" N	80° 22' 7.135" E
2	7° 29' 20.975" N	80° 22' 1.015" E	42	7° 29' 34.002" N	80° 22' 7.383" E
3	7° 29' 26.503" N	80° 22' 4.129" E	43	7° 29' 29.291" N	80° 22' 4.269" E
4	7° 29' 29.627" N	80° 22' 5.891" E	44	7° 29' 25.207" N	80° 22' 1.186" E
5	7° 29' 32.366" N	80° 22' 7.611" E	45	7° 29' 22.597" N	80° 21' 59.704" E
6	7° 29' 31.487" N	80° 22' 8.758" E	46	7° 29' 24.315" N	80° 21' 58.490" E
7	7° 29' 30.022" N	80° 22' 9.412" E	47	7° 29' 31.720" N	80° 22' 4.116" E
8	7° 29' 19.273" N	80° 22' 2.409" E	48	7° 29' 34.098" N	80° 22' 8.239" E
9	7° 29' 21.410" N	80° 22' 3.049" E	49	7° 29' 19.583" N	80° 22' 4.796" E
10	7° 29' 25.211" N	80° 22' 5.426" E	50	7° 29' 21.700" N	80° 22' 5.621" E
11	7° 29' 28.805" N	80° 22' 6.879" E	51	7° 29' 20.300" N	80° 22' 7.145" E
12	7° 29' 30.928" N	80° 22' 8.187" E	52	7° 29' 18.788" N	80° 22' 6.160" E
13	7° 29' 31.442" N	80° 21' 59.604" E	53	7° 29' 16.833" N	80° 22' 4.205" E
14	7° 29' 27.751" N	80° 21' 55.704" E	54	7° 28' 59.066" N	80° 21' 55.252" E
15	7° 29' 29.885" N	80° 21' 56.864" E	55	7° 29' 0.550" N	80° 21' 57.707" E
16	7° 29' 32.209" N	80° 21' 58.382" E	56	7° 29' 4.782" N	80° 21' 57.203" E
17	7° 29' 34.212" N	80° 22' 0.491" E	57	7° 29' 1.939" N	80° 21' 59.650" E
18	7° 29' 37.006" N	80° 22' 2.878" E	58	7° 29' 5.598" N	80° 21' 59.486" E
19	7° 29' 34.823" N	80° 22' 2.307" E	59	7° 28' 58.569" N	80° 21' 49.467" E
20	7° 29' 36.853" N	80° 22' 3.371" E	60	7° 28' 59.528" N	80° 21' 51.177" E
21	7° 29' 26.224" N	80° 21' 56.883" E	61	7° 29' 2.476" N	80° 21' 51.003" E
22	7° 29' 27.809" N	80° 21' 58.248" E	62	7° 29' 1.674" N	80° 21' 53.129" E
23	7° 29' 29.232" N	80° 21' 59.939" E	63	7° 29' 3.277" N	80° 21' 53.127" E
24	7° 29' 31.152" N	80° 22' 1.028" E	64	7° 28' 56.803" N	80° 21' 41.412" E
25	7° 29' 33.255" N	80° 22' 2.518" E	65	7° 28' 56.882" N	80° 21' 45.313" E
26	7° 29' 36.203" N	80° 22' 4.187" E	66	7° 29' 0.559" N	80° 22' 7.645" E
27	7° 29' 35.812" N	80° 22' 5.099" E	67	7° 28' 58.516" N	80° 22' 8.741" E
28	7° 29' 29.114" N	80° 22' 1.509" E	68	7° 28' 56.570" N	80° 22' 10.987" E
29	7° 29' 32.474" N	80° 22' 3.257" E	69	7° 29' 2.369" N	80° 22' 6.173" E
30	7° 29' 35.355" N	80° 22' 6.064" E	70	7° 29' 3.001" N	80° 22' 7.153" E
31	7° 29' 28.418" N	80° 22' 2.263" E	71	7° 28' 55.843" N	80° 22' 12.053" E
32	7° 29' 26.266" N	80° 22' 0.152" E	72	7° 29' 1.499" N	80° 22' 6.098" E
33	7° 29' 23.749" N	80° 22' 6.544" E	73	7° 28' 58.677" N	80° 22' 6.904" E
34	7° 29' 27.097" N	80° 22' 8.028" E	74	7° 28' 57.621" N	80° 22' 8.515" E
35	7° 29' 29.070" N	80° 22' 8.879" E	75	7° 29' 0.043" N	80° 22' 5.730" E
36	7° 29' 28.720" N	80° 22' 9.576" E	76	7° 28' 56.343" N	80° 22' 8.392" E
37	7° 29' 26.767" N	80° 22' 9.741" E	77	7° 28' 56.562" N	80° 22' 6.906" E
38	7° 29' 26.235" N	80° 22' 9.245" E	78	7° 28' 58.613" N	80° 22' 4.956" E
39	7° 29' 24.568" N	80° 22' 9.064" E	79	7° 28' 55.260" N	80° 22' 6.907" E
40	7° 29' 24.325" N	80° 22' 9.417" E	80	7° 29' 1.174" N	80° 22' 3.856" E

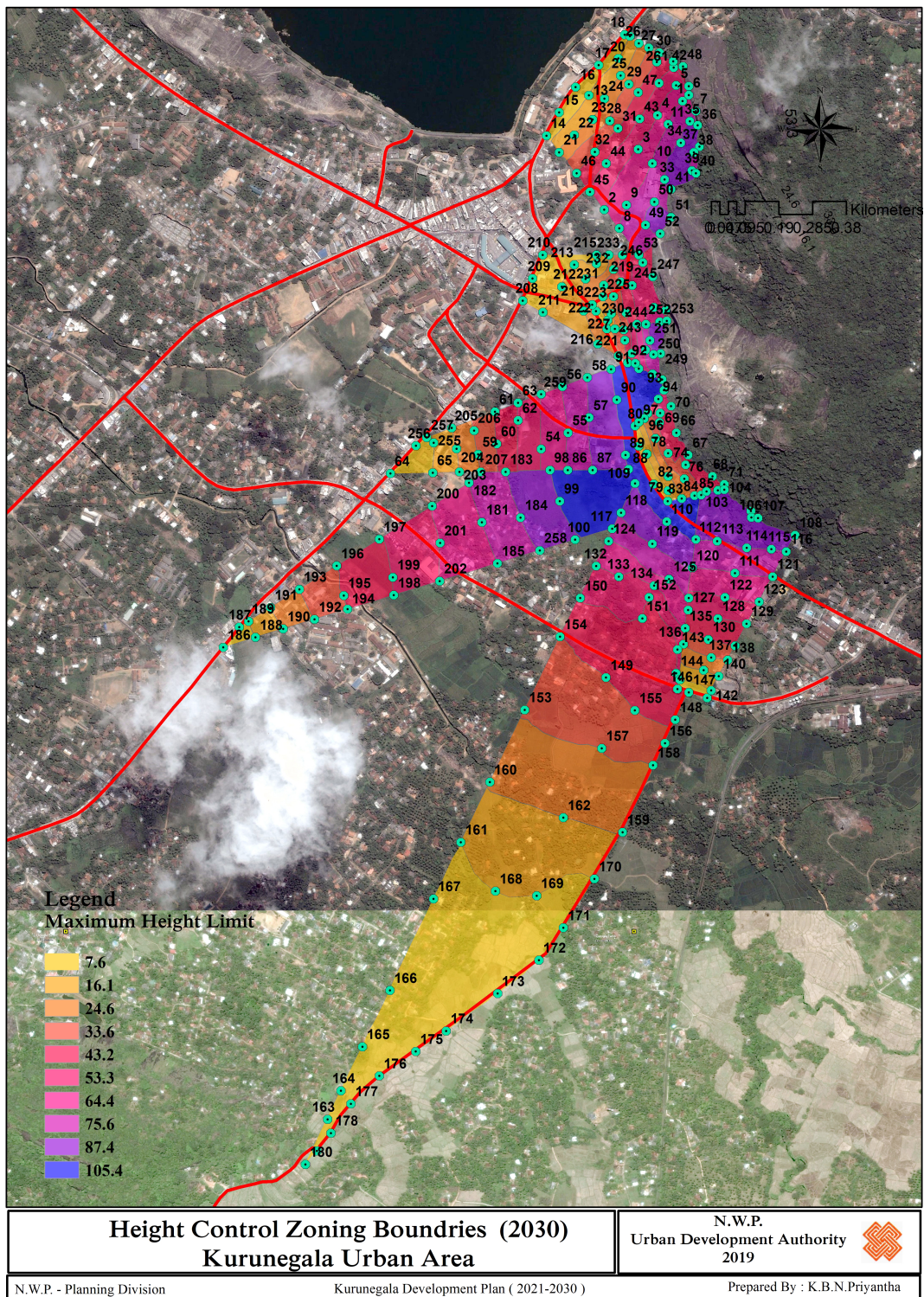
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82	7° 28' 55.862" N	80° 22' 5.573" E	124	7° 28' 50.625" N	80° 22' 1.457" E
83	7° 28' 54.299" N	80° 22' 6.870" E	125	7° 28' 47.163" N	80° 22' 7.001" E
84	7° 28' 54.537" N	80° 22' 8.140" E	126	7° 28' 45.423" N	80° 22' 8.801" E
85	7° 28' 54.809" N	80° 22' 9.336" E	127	7° 28' 44.338" N	80° 22' 8.747" E
86	7° 28' 57.132" N	80° 21' 57.700" E	128	7° 28' 43.548" N	80° 22' 11.487" E
87	7° 28' 57.134" N	80° 21' 59.983" E	129	7° 28' 43.074" N	80° 22' 14.109" E
88	7° 28' 57.215" N	80° 22' 3.278" E	130	7° 28' 41.636" N	80° 22' 10.608" E
89	7° 28' 58.514" N	80° 22' 2.993" E	131	7° 28' 41.054" N	80° 22' 13.079" E
90	7° 29' 3.572" N	80° 22' 2.185" E	132	7° 28' 48.345" N	80° 22' 0.317" E
91	7° 29' 6.359" N	80° 22' 1.660" E	133	7° 28' 47.382" N	80° 22' 2.398" E
92	7° 29' 6.958" N	80° 22' 3.181" E	134	7° 28' 46.569" N	80° 22' 5.638" E
93	7° 29' 4.465" N	80° 22' 6.500" E	135	7° 28' 42.656" N	80° 22' 8.477" E
94	7° 29' 3.651" N	80° 22' 6.011" E	136	7° 28' 41.191" N	80° 22' 8.315" E
95	7° 29' 2.348" N	80° 22' 5.034" E	137	7° 28' 39.986" N	80° 22' 10.881" E
96	7° 29' 1.859" N	80° 22' 4.708" E	138	7° 28' 39.757" N	80° 22' 12.378" E
97	7° 29' 1.533" N	80° 22' 4.219" E	139	7° 28' 38.819" N	80° 22' 10.180" E
98	7° 28' 57.131" N	80° 21' 56.069" E	140	7° 28' 38.267" N	80° 22' 11.571" E
99	7° 28' 54.289" N	80° 21' 56.975" E	141	7° 28' 36.279" N	80° 22' 10.504" E
100	7° 28' 50.759" N	80° 21' 58.379" E	142	7° 28' 36.979" N	80° 22' 10.868" E
101	7° 28' 54.865" N	80° 22' 9.934" E	143	7° 28' 40.702" N	80° 22' 7.765" E
102	7° 28' 55.191" N	80° 22' 10.422" E	144	7° 28' 38.526" N	80° 22' 7.658" E
103	7° 28' 55.288" N	80° 22' 11.468" E	145	7° 28' 37.935" N	80° 22' 7.992" E
104	7° 28' 55.355" N	80° 22' 12.053" E	146	7° 28' 37.081" N	80° 22' 7.787" E
105	7° 28' 53.404" N	80° 22' 14.501" E	147	7° 28' 36.796" N	80° 22' 8.809" E
106	7° 28' 52.808" N	80° 22' 14.557" E	148	7° 28' 34.275" N	80° 22' 7.585" E
107	7° 28' 52.753" N	80° 22' 15.154" E	149	7° 28' 38.134" N	80° 22' 1.216" E
108	7° 28' 51.199" N	80° 22' 18.563" E	150	7° 28' 45.414" N	80° 21' 58.852" E
109	7° 28' 55.911" N	80° 22' 3.861" E	151	7° 28' 43.551" N	80° 22' 4.550" E
110	7° 28' 52.425" N	80° 22' 6.784" E	152	7° 28' 45.492" N	80° 22' 5.164" E
111	7° 28' 47.705" N	80° 22' 13.041" E	153	7° 28' 35.173" N	80° 21' 53.757" E
112	7° 28' 50.795" N	80° 22' 9.448" E	154	7° 28' 41.878" N	80° 21' 56.991" E
113	7° 28' 50.634" N	80° 22' 11.409" E	155	7° 28' 35.125" N	80° 22' 3.868" E
114	7° 28' 50.024" N	80° 22' 14.127" E	156	7° 28' 32.124" N	80° 22' 6.643" E
115	7° 28' 49.915" N	80° 22' 16.389" E	157	7° 28' 31.660" N	80° 22' 0.844" E
116	7° 28' 49.686" N	80° 22' 17.751" E	158	7° 28' 30.120" N	80° 22' 5.553" E
117	7° 28' 51.765" N	80° 22' 1.782" E	159	7° 28' 23.969" N	80° 22' 2.750" E
118	7° 28' 53.230" N	80° 22' 2.596" E	160	7° 28' 28.553" N	80° 21' 50.564" E
119	7° 28' 50.389" N	80° 22' 5.457" E	161	7° 28' 23.050" N	80° 21' 47.910" E
120	7° 28' 48.190" N	80° 22' 9.124" E	162	7° 28' 25.306" N	80° 21' 57.317" E
121	7° 28' 47.387" N	80° 22' 16.507" E	163	7° 27' 57.666" N	80° 21' 35.704" E
122	7° 28' 45.497" N	80° 22' 12.133" E	164	7° 28' 0.291" N	80° 21' 36.934" E

165	7° 28' 4.317" N	80° 21' 38.902" E	207	7° 28' 56.962" N	80° 21' 49.709" E
166	7° 28' 9.473" N	80° 21' 41.416" E	208	7° 29' 12.638" N	80° 21' 53.552" E
167	7° 28' 17.861" N	80° 21' 45.408" E	209	7° 29' 14.663" N	80° 21' 54.434" E
168	7° 28' 18.566" N	80° 21' 51.083" E	210	7° 29' 16.836" N	80° 21' 55.381" E
169	7° 28' 18.150" N	80° 21' 54.872" E	211	7° 29' 11.579" N	80° 21' 55.394" E
170	7° 28' 19.697" N	80° 22' 0.181" E	212	7° 29' 13.924" N	80° 21' 57.128" E
171	7° 28' 15.222" N	80° 21' 57.328" E	213	7° 29' 15.928" N	80° 21' 58.278" E
172	7° 28' 12.253" N	80° 21' 55.085" E	214	7° 29' 16.033" N	80° 22' 0.297" E
173	7° 28' 9.194" N	80° 21' 51.300" E	215	7° 29' 16.835" N	80° 22' 0.297" E
174	7° 28' 5.765" N	80° 21' 46.580" E	216	7° 29' 8.678" N	80° 22' 0.440" E
175	7° 28' 3.887" N	80° 21' 43.789" E	217	7° 29' 11.699" N	80° 21' 59.138" E
176	7° 28' 1.640" N	80° 21' 40.459" E	218	7° 29' 14.627" N	80° 21' 59.308" E
177	7° 27' 59.090" N	80° 21' 37.852" E	219	7° 29' 16.834" N	80° 22' 1.454" E
178	7° 27' 56.408" N	80° 21' 36.019" E	220	7° 29' 7.599" N	80° 22' 2.317" E
179	7° 27' 54.767" N	80° 21' 34.730" E	221	7° 29' 10.064" N	80° 22' 1.276" E
180	7° 27' 53.536" N	80° 21' 33.677" E	222	7° 29' 11.678" N	80° 22' 0.260" E
181	7° 28' 52.349" N	80° 21' 49.824" E	223	7° 29' 12.453" N	80° 21' 59.612" E
182	7° 28' 55.951" N	80° 21' 48.631" E	224	7° 29' 10.861" N	80° 22' 1.340" E
183	7° 28' 56.964" N	80° 21' 51.992" E	225	7° 29' 13.554" N	80° 22' 0.633" E
184	7° 28' 52.779" N	80° 21' 53.369" E	226	7° 29' 11.464" N	80° 22' 1.685" E
185	7° 28' 48.579" N	80° 21' 51.250" E	227	7° 29' 10.065" N	80° 22' 2.009" E
186	7° 28' 40.884" N	80° 21' 26.098" E	228	7° 29' 14.380" N	80° 22' 2.520" E
187	7° 28' 42.717" N	80° 21' 27.559" E	229	7° 29' 11.521" N	80° 22' 3.040" E
188	7° 28' 41.787" N	80° 21' 29.052" E	230	7° 29' 13.036" N	80° 22' 1.877" E
189	7° 28' 43.256" N	80° 21' 28.411" E	231	7° 29' 14.069" N	80° 22' 0.982" E
190	7° 28' 42.564" N	80° 21' 31.590" E	232	7° 29' 15.512" N	80° 22' 1.875" E
191	7° 28' 44.523" N	80° 21' 30.427" E	233	7° 29' 16.834" N	80° 22' 2.696" E
192	7° 28' 43.441" N	80° 21' 34.457" E	234	7° 29' 9.032" N	80° 22' 2.917" E
193	7° 28' 46.192" N	80° 21' 33.087" E	235	7° 29' 9.979" N	80° 22' 2.808" E
194	7° 28' 44.373" N	80° 21' 37.502" E	236	7° 29' 6.416" N	80° 22' 4.215" E
195	7° 28' 45.630" N	80° 21' 37.142" E	237	7° 29' 6.904" N	80° 22' 3.888" E
196	7° 28' 48.336" N	80° 21' 36.501" E	238	7° 29' 7.818" N	80° 22' 3.561" E
197	7° 28' 50.786" N	80° 21' 40.403" E	239	7° 29' 5.441" N	80° 22' 6.336" E
198	7° 28' 45.659" N	80° 21' 41.727" E	240	7° 29' 5.935" N	80° 22' 5.479" E
199	7° 28' 47.303" N	80° 21' 41.661" E	241	7° 29' 8.129" N	80° 22' 4.821" E
200	7° 28' 53.832" N	80° 21' 45.255" E	242	7° 29' 12.042" N	80° 22' 5.593" E
201	7° 28' 50.440" N	80° 21' 45.983" E	243	7° 29' 10.486" N	80° 22' 4.863" E
202	7° 28' 46.960" N	80° 21' 45.958" E	244	7° 29' 10.489" N	80° 22' 4.025" E
203	7° 28' 56.960" N	80° 21' 47.752" E	246	7° 29' 16.139" N	80° 22' 4.572" E
204	7° 28' 59.064" N	80° 21' 47.497" E	247	7° 29' 14.845" N	80° 22' 5.485" E
205	7° 29' 0.977" N	80° 21' 47.028" E	248	7° 29' 11.778" N	80° 22' 6.657" E
206	7° 29' 0.741" N	80° 21' 49.104" E	249	7° 29' 7.815" N	80° 22' 6.209" E

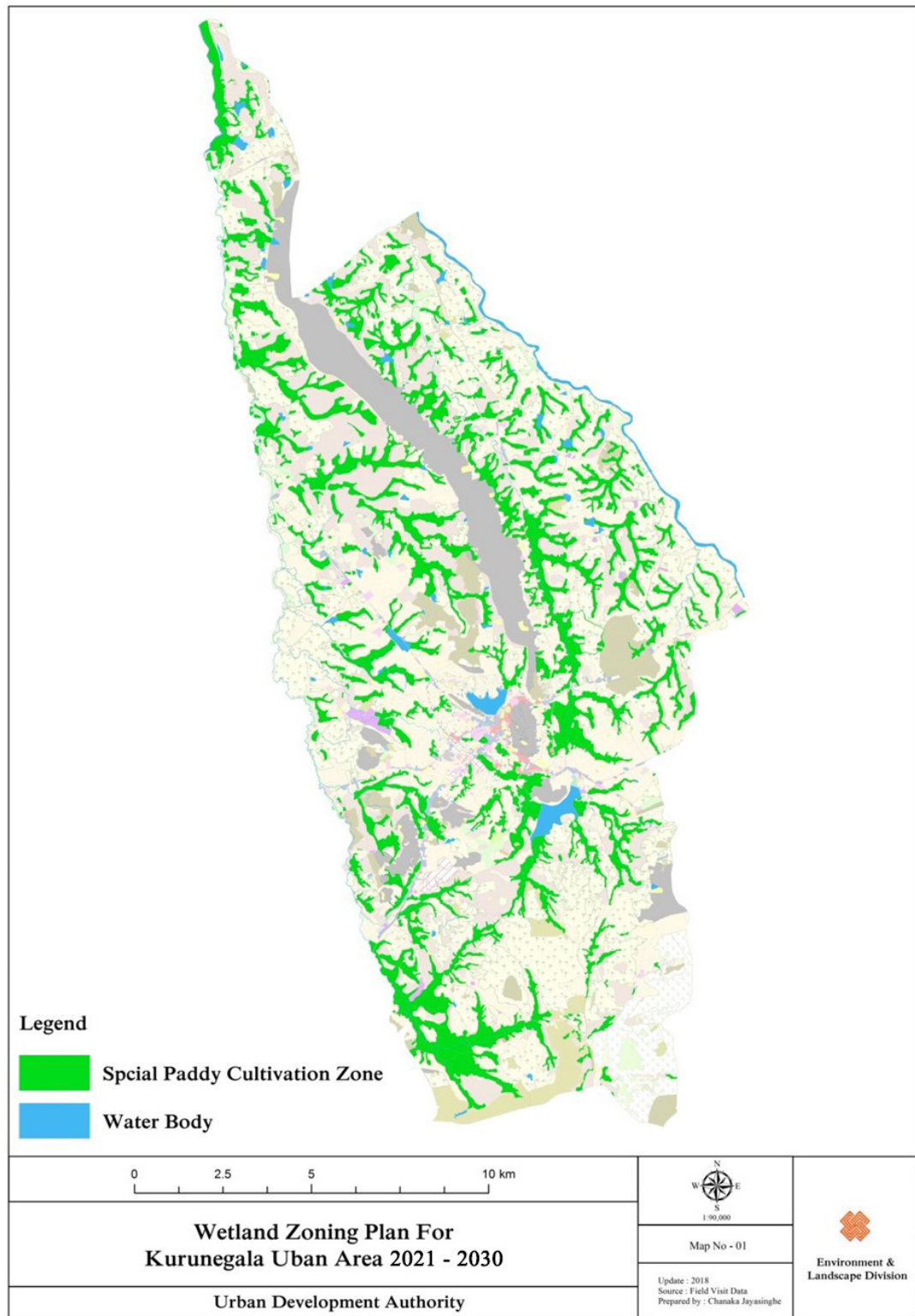
250	7° 29' 7.734" N	80° 22' 5.546" E
251	7° 29' 9.008" N	80° 22' 5.217" E
252	7° 29' 10.721" N	80° 22' 6.118" E
253	7° 29' 10.803" N	80° 22' 6.776" E
254	7° 29' 32.579" N	80° 22' 6.033" E
255	7° 28' 59.626" N	80° 21' 45.394" E
256	7° 28' 59.350" N	80° 21' 43.752" E
257	7° 29' 0.113" N	80° 21' 44.737" E
258	7° 28' 49.769" N	80° 21' 55.140" E
259	7° 29' 4.071" N	80° 21' 55.246" E
260	7° 29' 34.508" N	80° 22' 5.830" E
261	7° 29' 34.574" N	80° 22' 7.345" E

Source: Urban Development Authority North Western provincial Office, 2020

Map of Height Controlling Zonning Boundaries



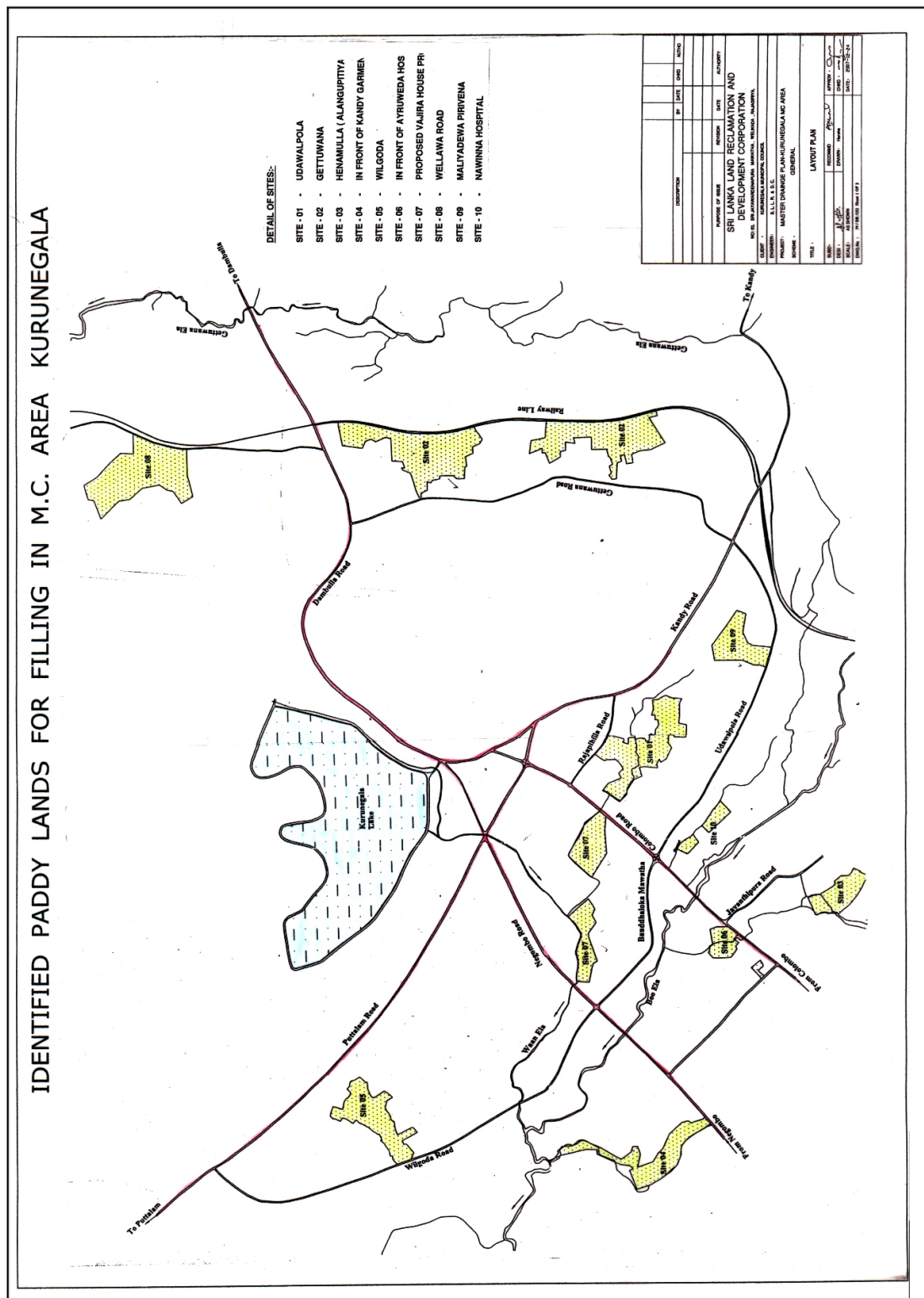
Source : Sri Lana land Reclamation and Development Corporation – 2008

Annexure 16- 1**Map of Paddy Cultivation and Wetland agricultural zone**

Source : Sri Lana land Reclamation and Development Corporation – 2008






























Annexure 16- 2

Paddy Land Plan for Reclamation in the Kurunegala Municipality area



Source : Sri Lana land Reclamation and Development Corporation – 2008

The map displays the Nuwara-Eliya Urban Council area, which is divided into several wards. The wards are color-coded: Gonagama, Wellawa, Maspotha, Thiththawella, Thorayaya, Yanthampalawa, Kurunegala, Wewela, Mukkhetugala, Bus Stand, Ethugala, Puwakdashanaya, Kadurugashanaya, Makkaduwawa, Wenera, Gettiwana, Mallavapitiya, Wendaruwewa, Gopallawa, Poyagane, and Mahawa. The map also shows the surrounding regions: To Puttalam, To Dhambulla, To Negombo, To Kandy, and To Colombo. A scale bar at the bottom indicates distances of 0, 2.5, 5, and 10 K.M.

Legend  Health and Medicare Zone  Industrial Zone  Low Density Residential Zone  Lake Tourism and Exclusive Residential Zone  Mixed Development Hinterland Zone  Mixes Development Zone  Mixes development Zone 2  Mixed Residential Zone  Special Commercial Zone  Special Development Zone  Proposed 4Lane Roads  Proposed Circular Road  Proposed Connectors  Proposed New Connectors  Transit Corridor  Proposed By Pass Route 01  Proposed By Pass Route 02  Express way  Main Roads  Other Roads  Rail Road  Zoning Boundary  Planning Boundary  Rocks  Forest  Water Bodies  Wetland Agricultural Development Zone			 1:90,706 Map No : 01		 North Western Province
<h2 style="text-align: center;">Zoning Plan - Kurunegala Planning Area</h2> <p style="text-align: center;">Kurunegala Development Plan (2021 - 2030)</p>			Prepared Date : September 8, 2020 Updated On : 2020 Source : UDA (North Western Province) Prepared By : Kurunegala Planning Team		
Urban Development Authority					

Annexure 18 - Definitions

Uses		Definition
Residential	Housing units	A Complete Unit for independence residence with facilities for sleeping , cooking and sanitary facilities.
	Apartment complexes	Buildings with a horizontal or vertical extension of a unit or units of residence in a permanently occupied area
	Hostels	Vertical or horizontal extension buildings that provide residential facilities for a limited time
	Labours Quarters / Office quarters	Vertical or horizontal extension buildings that provide residential accommodation to a particular workplace
	Adult / Disabled Homes	Horizontal or vertical extension buildings with basic residential facilities for the care of the aged and disabled.
	Children's Homes	Buildings with horizontal or vertical extension with basic residential facilities for children under 18 years
	Child Care Centers	Buildings with temporary residential care for children (less than 24 hours)
Health	Hospitals	Buildings with Laboratories, pharmacies, nursing care, rehabilitation, surgical services, outpatient and internal patient care, training centers, administrative and staffing facilities, providing treatment for outpatient and inpatient.
	Private Hospitals	Hospitals which are not owned by the Central Government and the Provincial Council and are run with residential facilities for patients
	Primary Health Care Units	A treatment center with a doctor from the Central Government and the Provincial Council
	Medical Consulting Service Centers	Centers that provide basic health care and counseling services for children and pregnant mothers
	Veterinary Hospitals and clinics	Veterinary Service Centers that conduct outpatient and inpatient treatment / clinics
	Child and Maternity Clinics	Providing health facilities and Consultancy for childrens and pregnents.

	Ayurvedic Medical Centers	Centers served by a registered doctor or a few doctors in the Government Ayurvedic Medical Council who treat traditional indigenous medicine.
Educational	Early Childhood Development Centers	Buildings to provide a formal education including early childhood development activities before admitting children to grade one
	Primary Education Centers	School buildings with facilities to provide a formal education from grade one to grade five
	Secondary Education Centers	School buildings with facilities to provide formal education from grade one to grade thirteenth and sixth to thirteenth
	Tertiary Education Centers	Higher Education Facilities, Any Universities, Open Universities and Higher Education Centers recognized by Government, Semi-Governmental, Private or International
	Technical Schools / Vocational Training Centers	Centers to provide vocational / technical training based on employment
	Research and Development Centers	Centers to conduct research and development work in various fields using modern techniques
	Private tuition classes	Buildings with teaching facilities for individual or group of children by one teacher or group of teachers
	Other Institutions (Art Institutions /Thertres)	Buildings for study purposes with a view to providing aesthetics
Institutions	Single Office Units	Centers with utilities and administrative services
	Office complex	Two or more buildings with utility and administrative service facilities Or Buildings with allied facilities for more
	Professional Offices	Career Based Service Centers
	Banks, Insurance and Financial Institutions	Centers providing Financial Insurance and related services.
	Automated Money Transfer Centers	Centers for machine providing financial transactions without a person
Social services and public amenities	Community Development Centers	Centers to facilitate community gatherings, community and development activities in general
	Social and cultural centers	Centers for public and cultural activities
	Religious centers	Places used for religious purposes
	Auditoriums and conference rooms	Buildings used for events, seminars or meetings

	Library	Buildings used for reading and related studies
	Rehabilitation centers	Centers for reintegration of persons engaged in anti-social activities
	Crematoriums	Buildings in a cemetery with a gas or electric fountain to burn dead bodies run by a local authority
	Cemeteries	Places used for burial and cremation
Commercial	Consumer good selling centers	Places where retail or wholesale goods are sold
	Supermarkets	A self-contained large scale building with one roof for selling consumer goods
	Shopping malls	Large Sales Centers with a wide variety of goods and services
	Restaurants	Places to buy and consume food with minimal facilities
	Open stores	Places where consumer goods are generally sold with or without cover
	Pharmacies	Pharmacies registered under State Pharmaceutical Corporation
	Laboratory Services and Collection Centers	Centers that run chemical service facilities affiliated to a hospital
	Wholesale stores	Places where merchandise or business is in bulk storage
	Warehousing	It is a building or part of a building that is mainly used for storing raw materials, commodities or merchandise for sale locally or overseas using containers.
	Customer Service Centers	Centers for systematic acquisition of customer service needs by competent persons
	Meat and fish stalls	-
	Prepared Meat and Fish Stalls	Selling and Show rooms stalls of packing meat and fish items.
	Liquor Shops	-
	Funeral parlour	Centers for funeral arrangements
	Funeral halls with reception halls	-
	Building Materials Sales	Place where Materials sold for construction of a building.
	Filling stations	Buildings with facilities For sale in Petrol, Fuel, Lubricant and Liquid Petroleum Gas Retail
	Filling stations and vehicle service centers	Facilities for retail sale of petrol, fuel, lubricant and liquefied petroleum gas for automobiles, Buildings such as vehicle service garages etc

	Filling stations and malls	Buildings with luxury trading facilities for retail sale of petrol, fuel, lubricant and liquefied petroleum gas for automobiles
	Gas stations and electric charging stations	Gas stations for vehicles and electricity charging station
	Communication towers on buildings	Towers erected on buildings for communication under the approval of the Telecommunications Regulatory Commission
	Communication towers	communication tower build Under the approval of the Telecommunications Regulatory Commission
	Multi-storey parking	Two floors or buildings to accommodate more parking
	Open car park	A place where parking vehicles an open area
	Vehicle Showrooms	Buildings for sale in vehicles
Tourism Activities	Holiday Inns	Locations, restaurants, sports and recreational activities for tourists to relax or enjoy as a vacation destination.
	Circuit Bungalows	Vertical or horizontal extension buildings that provide tourism accommodation to a particular workplace.
	Guest houses	A building or part of it that accommodates guests is covered under this.
	Lodgings	Places that offer accommodation on a rental basis
	Tourist hotels	All-inclusive accommodation for travelers
	Urban hotels	Locations used for business services that facilitate short stay in urban areas
	Tourist Information Centers	Information centers for the convenience of tourists
	Ayurvedic Panchakarma Center	Ayurvedic Councils Registered on Local Ayurvedic Medical Centers
	Cabana hotels	For tourism and leisure activities for tourists temporarily or Small-sized unit with lodging room and sanitary ware using permanent materials
Manufacturing industry	Mining & Mining Extraction Industries	Buildings that support mining and mining-related industries, primarily for activated carbon powder or carbon powder / coal / block stone or fabrication industries (flooring, blasting, fragmentation, polishing) / stone grinding or processing industries.

	Metal Products and Casting Extraction Industries	Iron and steel, Foundry Foundry Industries, Secondary processes, Non-ferrous metal processing industries with melting and metal retrieval, Metal processing industries, electroplating And metal or plastic surface treatment industries, including galvanizing, or powder coating, Machinery, Machinery Parts, Buildings that facilitate the manufacture of metal products and tools
	Oil refineries and petroleum-based chemicals and distilleries	Manufacturing or combining oil refineries (petroleum or petroleum), fuel, lubricant, grease and petroleum-based chemicals (basic or intermediate products), material petroleum gas products, industrial gas production or processing or refueling industries, Asphalt processing plants, pigments and pigment intermediate products Pādanaya or combination of industry, paints (emulsion and enamel) Paints, varnishes, dyes, polish building facilities for the manufacture of, or in combination with the industry
	Chemicals, polythene, plastics, rubber and glass based industries	Manufacture, synthesis or re-packaging of chemicals, soaps, detergents, softeners or other cleaning agents, industrial rubber, natural rubber manufacture or fabrication or rubber based industries, chemical fertilizer manufacturing or amalgamation Processing, processing or re-packing industries Fabrics, insecticides, fungicides and herbicides, manufacturing or combining or re-packing industries, polymeric (polymer) manufacturing or polymeric (polymer) industries, all types of fiber glass raw materials, all types of tires, Tube making or tire refueling, asbestos fiber raw materials, batteries Facilitate the manufacturing or reforming industries, the manufacture or extraction of Western pharmaceuticals or cosmetics, including the intermediate effects of the drug, the batik industry, the manufacture of combustible materials, the furnace and explosive industries. Buildings and buildings using wax Neither the industry.

Cement, concrete and ceramic based products	Cement industries (cleanser grinding or manufacturing or re-packing), cement block making industries, concrete pre-mixing plants, glass or glass based manufacturing industries, limestone, ceramic manufacturing industries, non-metallic minerals (limestone, Dolomite, apatite, rockphosphate, sandstone, peldspar, quartz, ilmenite, U ayil, zircon, mica, graphite talatu, ceramics, etc.), grinding or processing industries, concrete tire industry, plaster of Paris production industry, ceramic building facilities for the production of industrial goods
Clay Products Industry	Buildings for tile, clay brick and clay related industries
Natural fiber based manufacturing industries	Fiber based industries using natural materials
Textile, Clothing and Leather Products	Apparel industries, textile processing (including bleaching, coloring, printing) or garment washing or sand-based textile processing, handloom textile or weaving or embroidery industries, high power toilet-ries and call-in processes, Leather Finishing Industries, Leather Industries, Flax Fabrics Building facilities for the industry
Electrical and Electronics related industries	Electrical or electronic goods and equipment manufacturing or assembly industries
Heavy Machinery and Assembly Industries	Container Terminals for the Car or Bicycle Manufacturing and Assembly Industry
Paper Products and Printing Industries	Pulp and Paper Manufacturing Industries, Corrugated Cardboard Manufacturing Industries, Lead Heat Printing or Newspaper Printing or Wastewater Generating Printing Activities or Color Processing Centers, Printing and Fabric Printing Facilities and Facilities for Industries
Wood / Wood Products & Furniture Manufacturing Industries	Materials other than wood mills, boron treatment, chemical treatment and protection industries, multifamily carpentry industries
Food and non-alcoholic beverage industries	Buildings for Facilities of Food manufacturing, processing and packaging industries, instant tea or coffee processing industries, including bakery and confectionery industries, non-alcoholic beverages, sugar cane industries, ice factories, tea factories, desiccated coconut processing industries or coconut processing industries.

	Alcohol / local pharmaceuticals, spirits and extracts	Engaged in the manufacture or extraction or amalgamation of alcoholic fermentation industries (breweries, breweries) or bottling industries with alcoholic beverage bottling and bottling operations, tobacco smoking, sugar production and sugar refining industries, ayurvedic, local pharmaceuticals Industry, coconut oil extraction or cinnamon oil extraction industry Cinnamon smoke (sulfur emission) legit industry, plants and animal oil / fats building facilities for the extraction industries
	Recycling activities related industries	Solid waste recycling / recycling / recycling industries, toxic and hazardous / hazardous / hazardous waste recycling / recycling / recycling industries, municipal and other solid waste manufacturing centers
	Industrial Infrastructure Facilities Centers	Electricity generating units, high-capacity water treatment plants, high-input-capacity burners, buildings with facilities for high-efficiency (industrial or dead) refineries, except those used only in hydro or solar or wind power plants and in general power outages. And construction
	Domestic Industries	Handicrafts and traditional industries
Service industries	Vehicle Service Centers	Places of service provided for vehicle maintenance
	Vehicle Repair Centers	
	Light Vehicles Heavy Vehicles	Accidental / Impaired vehicles are repaired
	Hiring Vehicle Centers	Places where the Owned or Leased Vehicles are hired for the needs of others
	Laundry / clothes cleaning places	Locations for machine washing, drying and processing
	Grinding mill / paddy milling	Places where machine grinding and grinding is done
	Electronic Equipment Repair Centers	Places where the electronic items are repairs
Utility Services	Railway and bus terminals	Places for parking buses or trains
	Children parks	It covers a small sports area, a rest area and a garden areas that built specially for Children

	Parks	This includes large areas of grass and trees surrounded by fences or walls, specially designed to allow the community to walk or play with children for recreation, which can be reached by public and private vehicles.
	Landscape areas	means any combination of trees, shrubs, flowers, grass or the horticultural elements, decorative stonework, pavers, screening or other landscape architectural elements, all of which are designed to enhance the visual amenity of a property or to provide an amenity for common use by the occupants of a building.
	Indoor Sports Centers	Playing areas within a building with facilities for play
	Theaters	Buildings with auditorium facilities for watching movies for entertainment
	Clubs	Other social amenities with local and foreign liquor outlets for entertainment
	Art galleries / museums	A building where a large number of interesting and valuable objects, such as works of art or artefacts, are kept, studied and displayed to the public.
	Open air Theater	Seats with open platform
Agriculture	Livestock / farm farms with construction	Places used for cultivating crops or raising animals for human consumption within or outside buildings erected on a particular site

Annexure 19 - Process of Calculating Zone Factor

The process of calculation of zone factor in each cluster as follows.

$$\text{Zone Factor} = \frac{\text{Future required Space for Development}}{\text{Developable Space}}$$

Calculating required lands for future development

In order to calculating required lands for future development; it has been calculating relation to the residential population and commuter population in each zones which may expected in 2030. Accordingly, amount of land required per person for the residential population and the amount of land required for the Commuter population for commercial, service, and other needs and for the population coming to collect services were calculated separately.

Accordingly, residential and commuter population has been calculating as follows.

The calculation of the circulated population in the five Density Zones are systematically introduced, infrastructure and services have been proposed and given in the future (Availability of access roads, pipe born water, waste water discharge systems, rain water drainage system) was considered. Based on that, following table shows the total population estimated at 2030.

The calculation of extent of land required for future development

Zone	Predictions	Residential and related	Expected Commuter Population	Non Residential (Commercial, institutional and Others)
	Residential Population	Required Space for Residential Population (Sq. m)	Non Residential	Required Space for Non Residential Population (Sq. m)
Special commercial zone	200	12,936	30,000	600,000
lake tourism and exclusive residential area	2,450	159,480	60,000	1,800,000
health and medicare zone	1,450	94,386	40,000	1,200,000
Special development zone	1,550	100,895	50,000	1,500,000
Mixe development Zone	36,100	2,358,880	110,000	3,300,000
Mixes development Zone 2	59,700	4,263,402	70,000	2,100,000
Mixed development Hinterland zone	7,950	517,495	50,000	1,500,000
Mixed Residential Zone	45,620	3,257,896	30,000	900,000

Industrial Zone	1,800	128,058	45,000	1,350,000
Low density residential zone	24,696	1,508,119	15,000	450,000
Total	248,031	12,401,547	500,000	14,700,000

Source: Urban Development Authority North Western provincial Office, 2020

Calculation of Zone Factor

	Zone	Expected lands for Development (Sq. m)	Developable Lands (Sq.m)	Zone Factor
01	Special Development Zone	612,936	209,411	-
02	lake tourism and exclusive residential area	1,959,480	849,494	2.50
03	health and medicare zone	1,294,386	470,305	2.75
04	Special development zone	1,600,895	559,727	2.75
05	Mixe development Zone	5,658,880	2,162,375	2.75
06	Mixes development Zone 2	6,363,402	2,745,311	2.50
07	Mixed development Hinterland zone	2,017,495	1,101,131	2.00
08	Mixed Residential Zone	4,157,896	3,614,184	1.25
09	Industrial Zone	1,478,058	737,852	2.00
10	Low density residential zone	1,958,119	2,392,176	1.00

Source: Urban Development Authority North Western provincial Office, 2020

The following criteria and assumptions were used to calculate the zone factor.

- Projected Residentail Population will increase to 248,000
- The expected Commuter population for the year 2030 is estimated to be around 500000
- 20% of the land area that can be developed has been allocated for the roads required for future development.
- the trend of land development and land cover by 2030 in the 10 zones covering the urban area is as follows.

Zone	The tendency of land development (Percentatge)	Plot Coverage (Percentatge)
Special Development Zone	1.00	0.80
lake tourism and exclusive residential area	0.70	0.50
health and medicare zone	0.90	0.80
Special development zone	0.75	0.80
Mixe development Zone	0.65	0.72
Mixes development Zone 2	0.25	0.65
Mixed development Hinterland zone	0.30	0.65
Mixed Residential Zone	0.15	0.50
Industrial Zone	0.50	0.80
Low density residential Zone	0.10	0.50

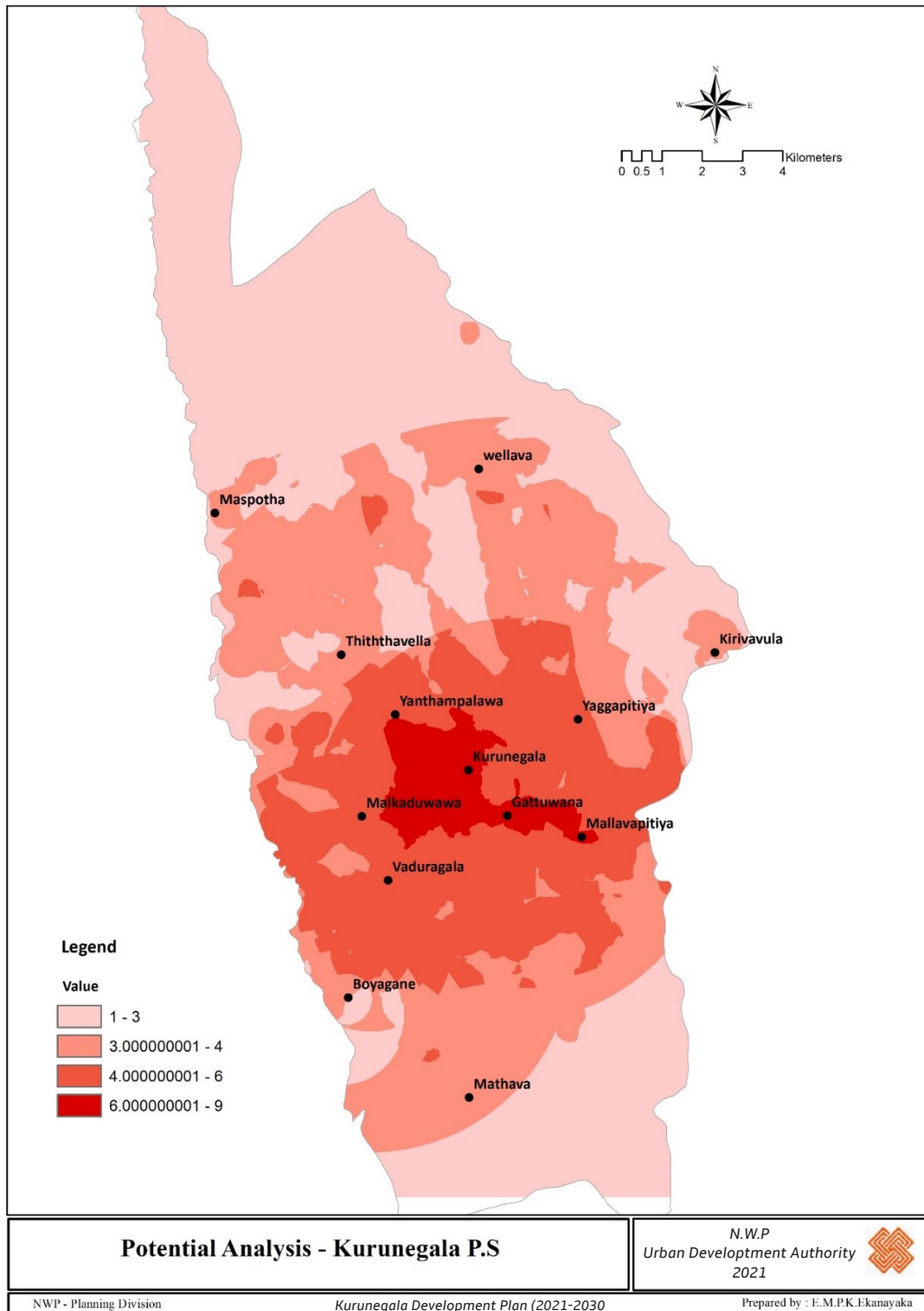
Source: Urban Development Authority North Western provincial Office, 2020

- Residential population and commuter population has been used to calculate lands to be develop.
- The amount of lands required per person for the residential population is sq. m . 50 and The amount of lands required per person for the commuter population is sq. m . 20 is also assumed.

Annexure 20 – Identification of density Zones

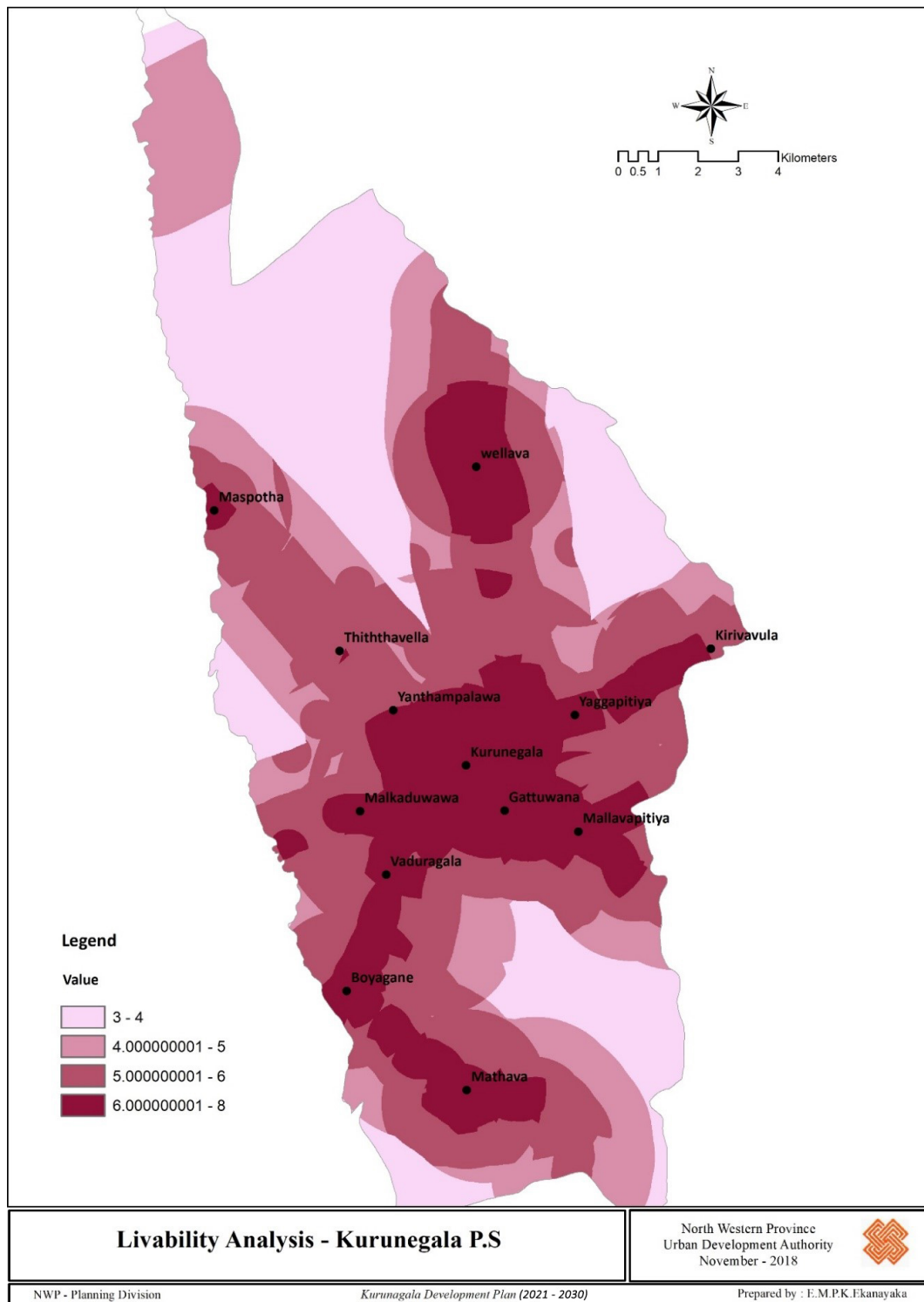
The density zoning plan of the Kurunegala Urban Area is shown as follows as an overlay result of the analysis obtained from the potential analysis, the environmental sensitivity analysis and the Livability Analysis.

The Potential Analysis



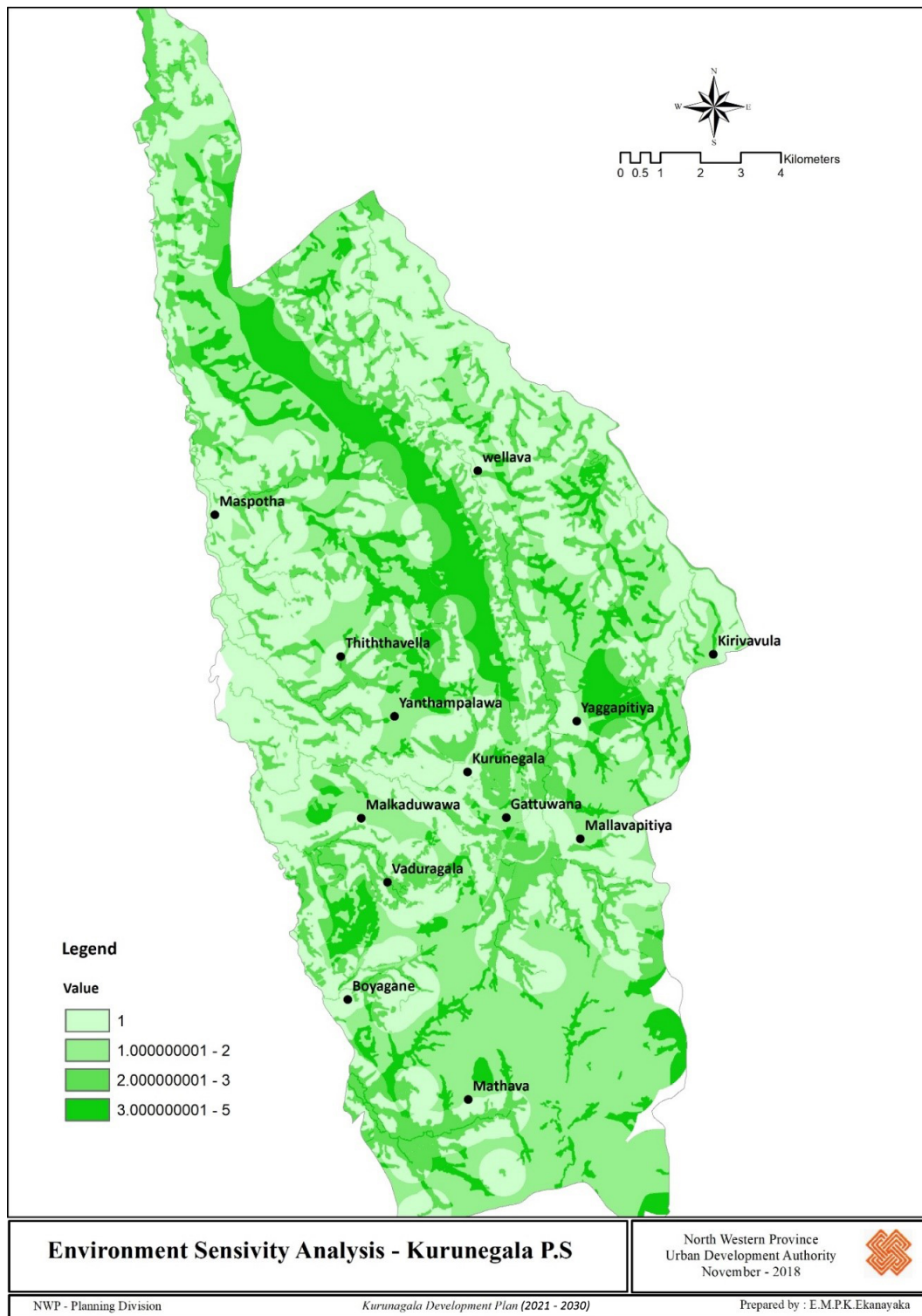
Source: Urban Development Authority North Western provincial Office, 2020

The Livability Analysis



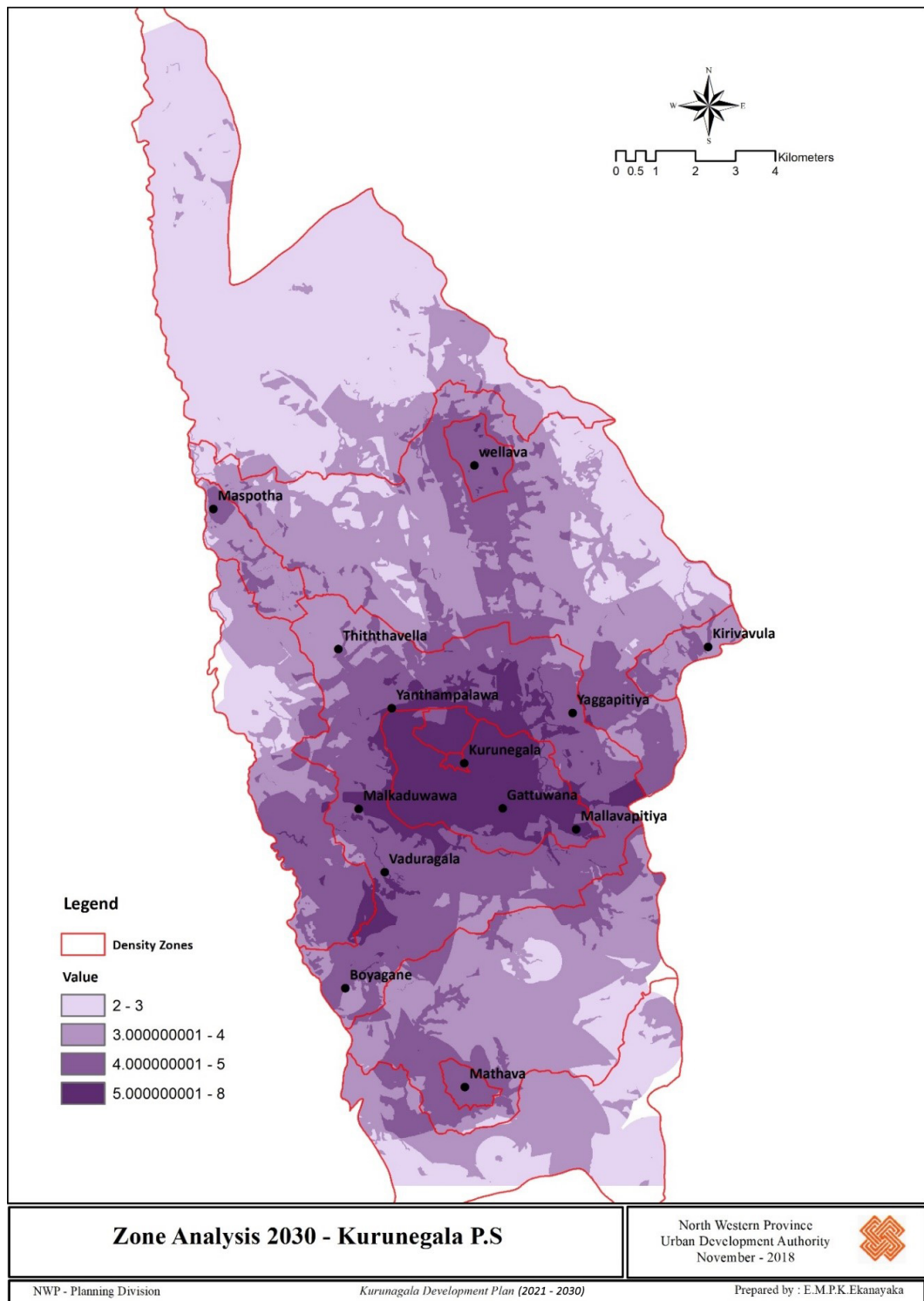
Source: Urban Development Authority North Western provincial Office, 2020

The Environment Sensivity Analysis



Source: Urban Development Authority North Western provincial Office, 2020

The Zones Identification



Source: Urban Development Authority North Western provincial Office, 2020

Annexure 21 - Permitted Uses

Use		1	2	3	4	5	6	7	8	9	10
		Special Commercial Zone	Lake Tourism and Exclusive Residential Zone	Health and Medi Care Zone	Special Development Zone	Mix Development Zone	Mix Development Zone 2	Mix Development Hinterland Zone	Mixed Residential Zone	Industrial Zone	Low Density Residential Zone
Residential	Single Housing Units	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Housing Complexes		✓	✓	✓	✓	✓	✓	✓		
	Apartments		✓	✓	✓	✓	✓	✓	✓		
	Hostels		✓	✓	✓	✓	✓	✓	✓	✓	
	Official Residences/ Labour Quarters		✓	✓	✓	✓	✓	✓	✓	✓	
	Elders/Disabled Homes		✓			✓	✓	✓	✓		✓
	Children Homes		✓			✓	✓	✓	✓		✓
	Day Care Centers		✓	✓	✓	✓	✓	✓	✓		✓
Health	Medical services and consultation services		✓	✓		✓	✓	✓	✓		✓
	Child and Maternity Clinic		✓	✓		✓	✓	✓	✓		✓
	Hospitals			✓	✓	✓	✓	✓	✓		✓
	Private Hospitals			✓	✓	✓	✓	✓	✓		
	Primary medical care Units			✓		✓	✓	✓	✓		
	Animal Clinic & Treatment Centres			✓	✓	✓	✓	✓	✓		✓
	Ayurvedic Medical Centres			✓	✓	✓	✓	✓	✓		✓
	Pharmacies/Laboratories	✓	✓	✓	✓	✓	✓	✓	✓		✓
Educational	Early Childhood Development Centres		✓	✓		✓	✓	✓	✓		✓
	Private Tuition Classes				✓	✓	✓	✓	✓		✓
	Other Educational Institutes (Art Institutions / Theaters)				✓	✓	✓	✓	✓		✓
	International Schools					✓	✓	✓	✓		✓
	Primary Education Centres					✓	✓	✓	✓		✓
	Secondary Education Centres					✓	✓	✓	✓		✓
	Tertiary Education Centres					✓	✓	✓	✓		✓
	Technical Colleges / Vocational Training Institutions					✓	✓	✓	✓	✓	✓

	Research and Development Centres				✓	✓	✓	✓	✓	✓	✓
Institutional	Single Office Units (Gov/Semi Gov/Private)	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Office Complex (Gov/Semi Gov/Private)				✓	✓	✓	✓			
	Banks Insurance and Finance Institute	✓		✓	✓	✓	✓	✓	✓		✓
	Auto Teller Machine	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Social Services	Community Development Centres					✓	✓	✓	✓		✓
	Social & Cultural Centres		✓			✓	✓	✓	✓		✓
	Religious Centres						✓		✓		✓
	Auditorium and Conference Hall				✓	✓	✓	✓	✓		
	Libraries		✓			✓	✓	✓	✓		✓
	Rehabilitated Center		✓	✓		✓	✓	✓	✓		✓
	Crematorium						✓				✓
	Cemeteries						✓	✓	✓		✓
Commercial	Retail Shops/ Consumer goods selling centers	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Super markets	✓		✓	✓	✓	✓	✓	✓		✓
	Shopping Complex	✓		✓	✓	✓	✓	✓	✓		
	Restaurants	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Gem and jewellery centers	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Open markets	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Ware Houses					✓	✓	✓	✓	✓	
	Stores					✓	✓	✓	✓	✓	
	Customer Service Centres (hair and beauty saloons, studios)	✓	✓	✓		✓	✓	✓	✓		✓
	Meat and Fish Sales					✓	✓	✓	✓		✓
	Prepared Meat and Fish Sales	✓	✓	✓		✓	✓	✓	✓		✓
	Liquor shops	✓	✓		✓	✓	✓	✓	✓		✓
	Building material sales shops				✓	✓	✓	✓	✓		✓
	Filling Stations			✓	✓	✓	✓	✓	✓		✓
	Filling Station with Shopping Complex			✓	✓	✓	✓	✓	✓		
	Filling Station with Vehicle Service Centres			✓	✓	✓	✓	✓	✓		✓
	Gas Filling Stations and Electricity Planning Centre			✓	✓	✓	✓	✓	✓		✓
	Communication Towers on building	✓		✓	✓	✓	✓	✓	✓		✓
	Communication Towers					✓	✓	✓	✓		✓
	Multistorey Car Parks	✓		✓	✓	✓	✓	✓	✓	✓	
	Open car parks	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

	Vehicle Show Room			✓	✓	✓	✓	✓	✓		
	Funeral Falour			✓		✓	✓	✓	✓		✓
	Funeral Hall / Reception Hall			✓		✓	✓	✓	✓		✓
Tourism	Guest Houses	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Holiday Inn/ Circuit bungalows		✓	✓	✓	✓	✓	✓	✓		✓
	Urban hotels/ City hotels	✓	✓		✓						
	Tourism Hotels	✓	✓		✓	✓	✓	✓	✓		✓
	i. Less than 20 Rooms	✓	✓		✓	✓	✓	✓	✓		✓
	Tourism Hotels		✓		✓	✓	✓	✓	✓		✓
	ii. Between 20 – 99 Rooms		✓		✓	✓	✓	✓	✓		✓
	Tourism Hotels		✓		✓	✓	✓	✓	✓		✓
	iii. 100 Roomd and above		✓		✓	✓	✓	✓	✓		✓
	Tourism Information Centers	✓	✓		✓	✓	✓	✓	✓		✓
	Kabana Hotels		✓		✓	✓	✓	✓	✓		✓
	Ayurvedic spa centers	✓	✓	✓	✓	✓	✓	✓	✓		✓
Industries	Domestic Industries	✓				✓	✓	✓	✓	✓	✓
	Cement Blocks, Concrete Kolin related products						✓	✓	✓	✓	✓
	Clay related products					✓	✓	✓	✓	✓	✓
	Metal Products and Casting Ex-traction Industries									✓	
	Oil refineries and petro-leum-based chemicals and dis-tilleries									✓	
	Industries related to chemicals, polythine, plastic, rubber and glass									✓	
	Industries related production of natural fiber						✓			✓	✓
	Clothes, garment and other pro-duction						✓			✓	✓
	Industries related to electricity electronic goods production									✓	
	Industries related to production and assembling of heavy machin-eries									✓	
	Industries related production of papers and printing activities						✓			✓	✓
	Industries related production wood, wooden goods						✓	✓	✓	✓	✓
	Industries related to production of food and non alcoholic bever-ages						✓	✓	✓	✓	✓

	Industries related to production of indigenous medicine spirit and essence									✓	
	Industries related to recycling activities									✓	✓
	Industries related to provision of infrastructure facilities									✓	
Utility Services	Grinding/ Paddy milling	✓				✓	✓	✓	✓		✓
	Hiring vehicle centre	✓	✓	✓	✓	✓	✓	✓	✓		✓
	Laundry / Cloths cleaning centres	✓	✓	✓		✓	✓	✓	✓		✓
	Vehicle repair centres					✓	✓	✓	✓		
	i. Light Vehicles					✓	✓				✓
	ii. Heavy Vehicles					✓	✓	✓	✓		
	Three Wheeler and Motor Cycle repair centres					✓	✓	✓	✓		✓
	Electrical Appliance repair centres			✓		✓	✓	✓	✓		✓
Recreation and Amusement	Children parks		✓	✓	✓	✓	✓	✓	✓		✓
	Parks		✓	✓	✓	✓	✓	✓	✓	✓	✓
	Landscape areas		✓	✓	✓	✓	✓	✓	✓	✓	✓
	Viewing decks		✓	✓	✓	✓	✓	✓	✓		✓
	Cinema Halls	✓	✓		✓	✓	✓	✓			
	Clubs		✓		✓	✓	✓	✓			
	Art Galleries /Museums		✓		✓	✓	✓	✓	✓		✓
	Open air theatres		✓		✓	✓	✓	✓	✓		✓
	Indoor Stadiums	✓	✓	✓	✓	✓	✓	✓	✓		✓
Agriculture	Livestock re-production / Crop farms										✓

Source: Urban Development Authority North Western provincial Office, 2020

Source

No. 1533/16 - 2008.01.20 - Procedures required to obtain a license, 1980 No. 47 National Environmental Act

Urban PORS Hierarchy – UDA

Department of Census & Statistics – Sri Lanka



Urban Development Authority
Ministry of Urban Development & Housing